

THE CITY OF DAWSON

COMMITTEE OF THE WHOLE MEETING #CW18-02



DATE: Monday, January 22, 2018
TIME: 7:00 PM
LOCATION: Council Chambers, City Office

- 1. CALL TO ORDER**
- 2. ACCEPTANCE OF ADDENDUM & ADOPTION OF AGENDA**
- 3. DELEGATIONS AND GUESTS**
- 4. ADOPTION OF THE MINUTES**
 - a) Committee of Whole Meeting Minutes CW18-01
- 5. BUSINESS ARISING FROM THE MINUTES**
 - a) Committee of Whole Meeting Minutes CW18-01
- 6. SPECIAL MEETING, COMMITTEE, AND DEPARTMENTAL REPORTS**
 - a) Request for Decision RE: RFP Solid Waste Management Program Design
 - b) Request for Decision RE: Recreation Grants
 - c) Request for Decision RE: Swimming Pool OHS Requirements, Budget Amendment, and Gas Tax Application
 - d) Request for Decision RE: Subdivision Application #17-124
RE: Lot 11, Dredge Pond Subdivision
 - e) Request for Decision RE: Moose Hide Slide Designation
 - f) Request for Decision RE: Consolidation of Lots 1,2,9, and 10, Block 1, Day's Addition
- 7. BYLAWS AND POLICIES**
 - a) OCP Amendment No. 7 Bylaw #2018-01
RE: Lot 1205, Quad 116 B/03, Plan 2014-0012
 - b) Zoning Amendment No. 18 Bylaw #2018-02
RE: Lot 1205, Quad 116 B/03, Plan 2014-0012
- 8. CORRESPONDENCE**
- 9. PUBLIC QUESTIONS**
- 10. INCAMERA SESSION**
 - a) Land and Financial Related Matters
- 11. ADJOURNMENT**

MINUTES OF COMMITTEE OF WHOLE CW18-01 of the council of the City of Dawson called for 7:00 PM on Monday, January 8, 2018 in the City of Dawson Council Chambers.

PRESENT: Mayor Wayne Potoroka
Councillor Stephen Johnson
Councillor Bill Kendrick
Councillor Kyla MacArthur

ABSENT: Councillor Jay Farr

ALSO PRESENT: CAO Christine Smith
EA Heather Favron
A/EA Brooke Edmonds
PW Superintendent Louis Gerberding
CFO Obrian Kydd

Agenda Item: Call to Order

The Chair, Wayne Potoroka called the meeting to order at 7:00 PM.

Agenda Item: Agenda

CW18-01-01 Moved by Mayor Potoroka, seconded by Councillor MacArthur that the agenda for committee of the whole meeting #CW18-01 be accepted as presented.
Carried 4-0

Agenda Item: Adoption of Minutes

a) Committee of the Whole Meeting Minutes #CW17-24 of December 11, 2017

CW18-01-02 Moved by Councillor MacArthur, seconded by Councillor Kendrick that the minutes of committee of the whole meeting #CW17-24 of December 11, 2017, be accepted as presented.
Carried 4-0

b) Special Committee of the Whole Meeting Minutes #CW17-25 of December 19, 2017

CW18-01-03 Moved by Councillor Johnson, seconded by Councillor MacArthur that the minutes of special committee of the whole meeting #CW17-25 of December 19, 2017, be accepted as presented.
Carried 4-0

Agenda Item: Business Arising from the Minutes

a) Committee of the Whole Meeting Minutes #CW17-24 of December 11, 2017

Committee noted a few of the volunteer appreciation cards were not able to be delivered, and requested administration to mail out the remaining cards.

In response to a question raised by the committee, the CAO explained the final costing for the replacement of the Fire Chief's vehicle was not yet available.

Agenda Item: Special Meeting, Committee, and Departmental Reports

a) 2018 Council and Committee of Whole Meeting Dates

CW18-01-03 Moved by Mayor Potoroka, seconded by Councillor MacArthur that committee of the whole forward Option C, "2018 Council and Committee of the Whole Meeting Dates" to council with a recommendation to approve and establish regular council and committee of the whole meeting dates for 2018. Carried 4-0

b) Request for Decision RE: Recreation Grants

CW18-01-04 Moved by Councillor MacArthur, seconded by Councillor Johnson that committee of the whole forward the request for decision RE: Recreation Grant Applications to council with a recommendation to approve. Carried 4-0

c) Request for Decision RE Tax Lien TL1

CW18-01-05 Moved by Mayor Potoroka, seconded by Councillor Kendrick that committee of the whole forward the request for decision RE: Tax Lien Summary: Form TL1 to council with a recommendation to approve. Carried 4-0

Agenda Item: In Camera Session

CW18-01-06 Moved by Councillor Johnson, seconded by Councillor Kendrick that committee of the whole move into a closed session for the purposes of discussing a land related matters as authorized by section 213 (3) of the Municipal Act. Carried 4-0

a) Land Related Matters

CW18-01-07 Moved by Mayor Potoroka, seconded by Councillor Kendrick that committee of the whole reverts to an open session of committee of the whole and proceeds with the agenda. Carried 4-0

CW18-01-08 Moved by Mayor Potoroka, seconded by Councillor MacArthur that committee of the whole forward the in camera item 1(a) to council with a recommendation to approve. Carried 4-0

CW18-01-09 Moved by Mayor Potoroka, seconded by Councillor MacArthur that committee of the whole forward the in camera item 1(b) to council with a recommendation to approve. Carried 4-0

CW18-01-10 Moved by Mayor Potoroka, seconded by Councillor Kendrick that committee of the whole forward the in camera item 1(e) to council with a recommendation to approve. Carried 4-0

Agenda Item: Adjournment

CW18-01-11 Moved by Mayor Potoroka, seconded by Councillor Kendrick that committee of the whole meeting CW18-01 be adjourned at 7:54 PM.
Carried 4-0

THE MINUTES OF COMMITTEE OF WHOLE MEETING CW18-01 WERE APPROVED BY COMMITTEE OF WHOLE RESOLUTION #CW18-02-__ AT COMMITTEE OF WHOLE MEETING CW18-02 OF JANUARY 22, 2018.

Wayne Potoroka, Chair

Christine Smith, Interim CAO

THE CITY OF DAWSON

Request for Decision



TO: Mayor and Council
FROM: Louis Gerberding, Superintendent of Public Works
DATE: January 22, 2018
SUBJECT: RFP: Solid Waste Management Program Design Approval

RECOMMENDATION

That Council provide advice and feedback on the terms of reference in the Request for Proposals: Solid Waste Management Program Design and approve the RFP with suggested changes.

PURPOSE

To inform Council about the upcoming tender process on the Solid Waste Management Program Design project and to obtain advice on the terms of reference in the RFP. The RFP: Solid Waste Management Program Design is seeking consultant services to aid in the preparation of a Solid Waste Management Recycling Program Design.

BACKGROUND

On December 11th, 2017, committee was presented with the RFD Solid Waste Management Recycling Program Design, refer to committee of whole package #CW17-24: "RFD Solid Waste Management Recycling Program Design" for more information. On December 18th Council provided resolution C17-31-11 approving a 2018 capital budget amendment of \$40,000 to allow administration to hire a consultant to aid in the preparation of a Solid Waste Management Recycling Program Design. Council also indicated that they wanted to review the RFP prior to advertising.

CURRENT STATUS

Administration hired Claudia Heath from Heath Building Contracting to aid in the development of the RFP: Solid Waste Management Program Design. Refer to Appendix A: RFP: Solid Waste Management Program Design for more information.

In keeping with good procurement practice Council is presented with an opportunity to review and provide advice to administration on the terms of reference in the RFP to ensure the project meets their interests and fits within their priorities.

CONSIDERATIONS / DISCUSSION

The Solid Waste Management Program Design will focus on developing a formal City-wide recycling program. It shall speak to specific infrastructure the City of Dawson will need to put into place such as vehicles and bins for curbside collection of recyclables and any other related equipment including a class D cost estimate. This will inform the design of the new diversion center in terms of how divertible waste gets dropped off and processed in the facility.

The Solid Waste Management Program Design shall also inform the City of Dawson on how to enact policy and service level changes for the curbside collection of waste to both residential and commercial users. Some potential service level changes are:

- Reduce residential curbside collection of waste to every two weeks
- Offer an alternate week curbside collection for recyclables
- Reduce commercial curbside collection of waste to once per week forcing businesses, government agencies and other organizations to contract privately for any additional pickup requirements.

Additionally, a cost benefit analysis shall be provided that will look at bringing the curbside collection services for both waste and recyclables in house.

Please refer to Appendix A: RFP: Solid Waste Management Program Design for specific information on the terms of reference.

IMPLICATIONS

General: Solid Waste Management in Dawson City has received a good deal of attention over the past decade. Previous reports have highlighted essential elements that need to be in place for sustainable, effective waste management. These key elements include:

- Increased user-responsibility for waste management costs
- A community landfill and diversion centre with sufficient resources
- A phased approach to change with achievable steps

Financial: Administration spent \$3000 to Hire Claudia Heath for aid in the preparation of the RFP: Solid Waste Management Program Design. This was a budgeted expense in the 2017 annual operating budget.

The Solid Waste Management Program Design is expected to cost approximately \$40,000. On December 18th, 2017 Council approved a 2018 capital budget amendment of \$40,000 to fund the development of the Solid Waste Management Program Design from the Waste Management Reserve.

Policy / Legislated Requirements:

"Appendix A" of Bylaw #12-14 being the Reserves Fund Amendment No. 1 Bylaw

Waste Management Reserve

To set aside funds for the purpose of undertaking work at the municipal landfill site or initiating programs associated with waste collection

Waste Management Bylaw

5.00 Waste Diversion

5.01 For the purpose of facilitating waste diversion and recycling activities, effective June 1, 1998 all commercial and institutional users must separate cardboard and other recyclables as identified by Council resolution, prior to placing it out for pick-up or delivering it to the waste management site

Follow up Action: Once the RFP has been finalized and is advertised for competition, administration will oversee the process and ensure we provide clarity to potential proponents as questions arise. Once all proposals are received, evaluated for compliance and scored by administration, administration will present the top scoring compliant proposal to Council for approval. Once the tender is awarded by Council, the program design development is expected to take 3 months to completion. The design and eventual construction of the new diversion centre can then proceed from there. Once the diversion centre is built, the City can then enact policy and service level changes as recommended in the solid waste management program design.

Communication: Council will continue to be consulted on all major decision points and be informed of all major project milestones.

RELEVANT CONSULTATION

Claudia Heath – Heath Building Contracting

ALIGNMENT TO OFFICIAL COMMUNITY PLAN & MUNICIPAL PRIORITIES

Official Community Plan

3.7 Environmental Stewardship

Dawson is located in a beautiful area and surrounded by a rich and vibrant natural environment. Addressing important local environmental impacts is essential to Dawson's overall sustainability.

Long-term goal:

Minimize the environmental impacts of municipal regulations, programs, services and projects.

Implementation approached include:

d. Consider examining methods and approaches to delay the need for the opening of a new landfill such as supporting further recycling and waste diversion programs.

OPTIONS

1. That Council provide advice and feedback on the terms of reference in the Request for Proposals: Solid Waste Management Program Design and approve the RFP with suggested changes.
2. That Council approve the Request for Proposals: Solid Waste Management Program Design as presented.

APPENDICES / SCHEDULES

- Appendix A: RFP Solid Waste Management Program Design

APPROVAL & CAO COMMENTS

Christine Smith, A/CAO

Date:



CITY OF DAWSON PUBLIC TENDER

Request for Proposals

Solid Waste Management Program Design For the City of Dawson

**Dawson City,
Yukon**

February 2018

dawson city - heart of the klondike

City of Dawson-Yukon Territory

Request for Proposals

Solid Waste Management Program Design

For the

City of Dawson

**Dawson City,
Yukon**

Issue Date: February 1, 2018

Bid Closing Date: February 28, 2018 at 4:00 pm



INSTRUCTIONS TO BIDDERS

Table of Contents

INSTRUCTIONS TO BIDDERS	2
1.0 INVITATION	2
1.1. <i>Intent</i>	2
1.2. <i>Bid Call</i>	2
2.0 CONTRACT AND BID DOCUMENTS.....	4
2.1. <i>Definitions</i>	4
2.2. <i>Availability</i>	4
2.3. <i>Enquiries & Addenda</i>	4
3.0 SITE ASSESSMENT	4
3.1. <i>Site Examination</i>	4
4.0 BID ENCLOSURES AND REQUIREMENTS	5
4.1. <i>Taxes</i>	5
4.2. <i>Scheduled Completion</i>	5
4.3. <i>Insurance and Indemnification</i>	5
5.0 OFFER , ACCEPTANCE OR REJECTION	6
5.1. <i>Delivery of Bid</i>	6
5.2. <i>Duration of Offer</i>	7
5.3. <i>Acceptance of Offer</i>	7
BID FORMS.....	1-8

(Comprises of 8 pages total)

Appendix

Appendix A - Terms of Reference

Appendix B - CKS Quigley Sustainable Landfill Study – Phase 1 (2008)

Appendix C - City of Dawson Waste Management Plan (2011)

Appendix D - Quigley Solid Waste Management Facility Solid Waste Management Plan 2013-2023 (2013)

Appendix E - City of Dawson Solid Waste Diversion Centre Discussion Document 02-11-2015 (2015)

Appendix F - AYC Solid Waste Management: Vision for a sustainable Model for Yukon Communities (2016)

Appendix G – Map of Lot 11, Guggieville Subdivision

INSTRUCTIONS TO BIDDERS

1.0 INVITATION

1.1 Intent

The intent of this Request for Proposals (RFP) is for the City of Dawson to obtain offers (Proposals including "Bids") from interested and qualified parties ("Bidders") for the Solid Waste Management Program Design for the City of Dawson as per and in accordance with attached Terms of Reference and RFP Documents including Appendices.

1.2 Bid Call

- .1 Bids signed under seal, executed, and dated will be received by the City of Dawson labelled as:

Solid Waste Management Program Design
For the City of Dawson
c/o Louis Gerberding, Superintendent of Public Works, City of Dawson
1336 Front Street
Dawson City, YT

Documents must be delivered before the time of bid closing of 4:00PM local time as designated by the clock at the Reception Desk of the office at 1336 Front Street, Dawson City, YT on February 28, 2018 ("Bid Closing Date").

- .2 Bids submitted after the above time for bid closing will not be considered and will be returned to the Bidder unopened if a return address has been provided on the envelope.
- .3 Bids will not be opened in public. Bids shall be opened after the above time for bid closing.
- .4 Amendments to a submitted Bid will be permitted only if received on the bidder's letterhead prior to the above time for bid closing and if signed by the same party or parties who signed and sealed the Bid. A Bid amendment shall state the amount to be added to or deducted from the Bid Price. Amendments to a submitted bid may be submitted by fax. The fax number is 867-9937434. A fax should be followed up by a phone call to ensure it arrived with the person it was intended for, c/o Project Manager Trina Buhler, 867-9937400 Ext 304.
- .5 All erasures, revisions or corrections to the Bidder's entries on the Bid Form shall be initialled by the Bidder.
- .6 Bids and amendments to submitted Bids submitted by telephone will not be considered by the City of Dawson.
- .7 Bidders agree to prepare and submit Bids at their own cost. The City of Dawson is not obligated in any way to pay costs of any kind or nature whatsoever that may be incurred by a Bidder or any third parties in the Bid Process. All such costs shall be the Bidder's sole responsibility.

INSTRUCTIONS TO BIDDERS

2.0 CONTRACT AND BID DOCUMENTS

2.1. Definitions

- .1 *Bid Documents*: Instructions to Bidders, Bid Forms, any Bid Form Supplements, other information issued for the benefit of Bidders to prepare and submit a Bid.
- .2 *Bid Price*: The monetary sum identified by the Bidder in the Bid Form.

2.2. Availability

- .1 Bid Documents will be distributed on and after February 1, 2018, by the City of Dawson.

Trina Buhler, Project Manager
projectmanager@cityofdawson.ca
- .2 Upon receipt of Bid Documents, Bidders shall verify that the documents are complete. Bidders shall immediately notify the City of Dawson if the Bid Documents are incomplete or upon finding discrepancies or omissions in the Bid Documents.

2.3. Enquiries & Addenda

- .1 All enquiries from Bidders regarding the Bid Documents must be in writing and submitted no later than five business days before the Bid Closing Date to:

City of Dawson
Attention:
Trina Buhler, Project Manager
projectmanager@cityofdawson.ca
- .2 Addenda may be issued by the City of Dawson during the bidding period. All addenda become part of the Contract Documents. Include all costs of all addenda in Bid Price.
- .3 Verbal responses are only binding when confirmed by written addenda.

3.0 SITE ASSESSMENT

3.1. Site Examination

- .1 Bidders are strongly advised to carefully examine the *place of the Work*, and fully inform themselves of all existing conditions, limitations and difficulties that may arise during the future execution of the *Work including but not limited to any or all site specific health and safety, environmental and operational protocols*.
- .2 A site meeting may be arranged with Louis Gerberding, Superintendent of Public Works.

Email: pwmanager@cityofdawson.ca
Phone: 993 7400 ext. 301
- .3 The City of Dawson will not consider claims for additional payments during the administration of the execution of the *Work*, or at all, for extra *Work*, costs, damages or

INSTRUCTIONS TO BIDDERS

difficulties encountered resulting from conditions which were either visible or could be reasonably inferred from an examination of the *Place of the Work* prior to the submission of Bids.

4.0 BID ENCLOSURES AND REQUIREMENTS

4.1. Taxes

- .1 Unless specifically excluded by the Contract Documents, Bidders shall include all applicable government taxes, excluding *Value Added Taxes*, in the Bid Price.

4.2. Scheduled Completion

- .1 Bidders shall state in the Bid Form and Proposal the time duration and items of work required to complete each Phase of the Work.
- Information Review Phase
 - Site Familiarization Phase
 - Consultation with all Stakeholders Phase
 - Design Development Phase
 - Final Design and Report
- .2 Consideration will be given to the time durations and list of items of work when reviewing submitted Bids.
- .3 Milestones specified by the City of Dawson are as follows:
- | | |
|--|-------------------|
| RFP Tender Period starts | February 1, 2018 |
| RFP Tender Closes | February 28, 2018 |
| Tender Award | March 27, 2018 |
| Meeting with City Representatives and COD Staff and on-site review | April 10, 2018 |
| Presentation of Stakeholder Consultation Results, Concept Design Report to COD Staff | May 23, 2018 |
| Presentation of Consultation Results and Draft Design Report to COD Council | June 6, 2018 |
| Sign off by Council | June 20, 2018 |
| Final Design and Report | June 29, 2018 |
- .4 The Bidder must have sufficient staff to complete the work within the scheduled milestones and demonstrate this as per their Proposal and submitted Schedule.

4.3 Insurance and Indemnification

The successful proponent shall at its own expense obtain and maintain until the termination of the contract and provide the Owner with evidence of:

- a) Professional Liability: the proponent shall carry insurance covering the work and services described in this Agreement. Such policy shall provide coverage for an amount not less than one million dollars (\$1,000,000).
- b) Comprehensive general liability insurance on an occurrence basis for an amount not less than two million dollars (\$2,000,000) and shall include the Owners as an additional insured with respect to the proponent's operations, acts and omissions relating to its obligations under this Agreement. Such policy to include non-owned automobile liability, personal injury, broad form property damage, contractual liability, Owners' and contractors' protective, products and completed operations, contingent employers liability, cross liability and severability of interest clauses;

INSTRUCTIONS TO BIDDERS

- c) Automobile liability insurance for an amount not less than two million dollars (\$2,000,000) on forms meeting statutory requirements covering all vehicles used in any manner in connection with the performance of the terms of this Agreement.

The policies shown above will not be cancelled or permitted to lapse unless the insurer notifies the Owner in writing at least thirty (30) days prior to the effective date of cancellation or expiry.

The successful proponent by its acceptance of a negotiated agreement and purchase order, agrees to indemnify and hold harmless the Owner, its elected officials, agents and employees, from and against all loss or expense that may be incurred by the Owners, its officials, officers, employees and agents as a result of bodily injury, including death sustained by any person or persons, or on account of damage to property including loss of use thereof arising out of or as a consequence of the performance of the work stipulated in the RFP and any negotiated agreement.

4.3.1 Sole Use of Reports:

Any report, design and other material provided by the consultant, or their sub-consultants, will become the property of and for the sole use of the Owners.

4.3.2 Proposal Documents:

These terms of reference and the accepted proposal documents will form part of the contract made with the consultant.

4.3.3 Personnel:

Only personnel listed in the successful proposal shall perform the work unless otherwise approved by the Owner.

4.3.4 Dispute Resolution:

Any disputes will first be attempted to be resolved via frank and open negotiations. If negotiations are unsuccessful, the dispute will be referred to a mutually agreeable third party mediator/arbitrator whose decision will be final and binding.

4.3.5 Force Majeure:

Neither party will be responsible for carrying out their duties, nor will they be entitled to any compensation if events beyond their control occur. Examples of such events are, but, are not limited to, acts of God, labour disruptions, political decision delays, and protests.

4.3.6 Relationship of the Parties:

The Proponent and the Owners expressly acknowledge that they are independent entities and neither an agency, partnership nor employer-employee relationship is intended or created by submission of a proposal or subsequent contract.

5.0 OFFER , ACCEPTANCE OR REJECTION

5.1 Delivery of Bid

- .1 Each Bid must be sealed in an envelope which clearly identifies the Bidder's name, Project name and location. The Bid Form must be fully completed, signed under seal, dated and submitted in a clear and legible manner. Signatures and all other entries shall be written in ink. Photocopied signatures and other entries are not acceptable. All applicable blank spaces in the Bid Documents must be filled in. All Bid Form Supplements are to be completed and included with the Bid.

INSTRUCTIONS TO BIDDERS

- .2 Submit the following Bid Form Supplements with the Bid:
 - .1 Detailed Proposal
 - .2 Information required to meet the Evaluation Form as outlined below:

Item of Work	Scoring Amount
Fee for Full Scope	60%
Understanding of the Project and Terms of Reference	15%
Detailed Project Milestone Schedule	10%
Information on completed Bid Forms and within Proposal	15%
Total	100%

- .3 Agreement to provide Professional Liability Insurance.
- .4 Agreement to provide Automobile Insurance/Liability insured for \$ 2 Mio.
- .3 Bids that are unsigned, improperly signed or sealed, conditional, illegible, obscure, contain arithmetical errors, erasures, alterations or irregularities of any kind may, at the City of Dawson's sole discretion, be declared non-compliant.
- .4 Bids with Bid Forms and Bid Form Supplements which are improperly prepared may, at the City of Dawson's sole discretion, be declared non-compliant.
- .5 Bids based upon an unreasonable time duration for the completion of the *Work* may, at The City of Dawson's sole discretion, be declared non-compliant.
- .6 All submitted Bids and supporting documentation become the property of the City of Dawson and will not be returned. Bids and supporting documentation received after the time of the Bid Closing Date will be returned to the Bidder unopened.

5.2. Duration of Offer

- .1 Bids shall be irrevocable and remain open to acceptance for a period of sixty (60) days from the Bid Closing Date.

5.3. Acceptance of Offer

- .1 The lowest or any Bid will not necessarily be accepted.
- .2 Notwithstanding anything else contained in the Bid Documents, the City of Dawson reserves the right to exercise complete and unfettered discretion in all aspects of the conduct of the Bid process, the assessment and evaluation of Bids, including the

INSTRUCTIONS TO BIDDERS

determination of criteria, the ranking of Bidders and the selection of a successful Bidder without incurring any liability whatsoever to any Bidder, including any liability for costs, losses or damages and without giving any reasons therefore.

- .3 Without limiting the generality of the foregoing, the City of Dawson, in its sole and absolute discretion:
 - .1 Reserves the right to accept or reject any or all of the Bids;
 - .2 Reserves the right to evaluate, accept or reject any Bid, whether or not completed properly and whether or not it contains all required information or is otherwise non-compliant, and City of Dawson is not bound to evaluate, accept or reject any Bid;
 - .3 Reserves the right, after the selection of the successful Bidder, to negotiate and finalize any changes, amendments, or modifications to the Bid of the successful Bidder as submitted or to the Contract, without offering other Bidders the opportunity to amend their Bids.
 - .4 Reserves the right to not be bound to explain any decision to the Bidder(s). The City of Dawson may, at its own discretion, release the name of the successful Bidder.
- .4 Bidders expressly waive any right to make any claim against The City of Dawson for any matter arising from The City of Dawson exercising its rights as stated above.
- .5 After acceptance by The City of Dawson, the successful Bidder will be notified in writing.

END OF INSTRUCTIONS TO BIDDERS

Bid Forms

Project/Contract: **Solid Waste Management Program Design
For the City of Dawson, Dawson City, YT**

From (Bidder):

Company Name _____

Street address or postal box number _____

City and Postal Code _____

To (Owner): **The City of Dawson
1336 Front Street.
Dawson City, Yukon
Y0B 1G0**

Attention: **Louis Gerberding,
Superintendent of Public Works**

WE, the undersigned, having examined the Bid Documents for the above-named Project/Contract, including addendum number(s) _____, and having carefully examined the *Place of the Work* and fully informed ourselves of existing conditions, limitations and difficulties that may arise during the execution of the *Work*, hereby offer to perform the *Work* in a sound, careful and workmanlike manner, complete in all respects to the entire satisfaction of the Yukon Workers Health and Compensation Safety Board and Occupational Health and Safety Act., and in accordance with all the terms and conditions of the Bid Documents for the total price of:

__\$ _____ in Canadian dollars,
(Amount in letters)

(__\$ _____) excluding *Value Added Taxes*.
(Amount in figures)

WE, the undersigned declare that:

- (a) we agree to perform the *Work* within the required completion times specified in the Bid Documents;
- (b) we have arrived at this Bid without collusion with any competitor;
- (c) this Bid is open for acceptance by the City of Dawson for a period of sixty (60) days from the Bid Closing Date;
- (d) all Bid Form Supplements called for by the Bid Documents form an integral part of this Bid.

FORM OF TENDER - Form A

Contract Documents

Project Title:

**Solid Waste Management Program Design
For the City of Dawson, Dawson City, YT**

Project Location:

Dawson City, Yukon Territory

Submitted by:

Company

Declaration of Contract Documents received and reviewed

I/We have received, reviewed and fully understand all contract documents listed under the Appendix Instruction to Bidders-Table of Contents

Sign and date either option below. Please be advised that while a site visit is not mandatory it is strongly recommended.

I/We have visited the site and are fully familiar with the existing site conditions.

Signature of Company Representative

Date

I/We have **NOT** visited the site but I/We assure being fully familiar with the existing site conditions.

Signature of Company Representative

Date

FORM OF TENDER - Form B

Consultant Team

Project Title:

**Solid Waste Management Program Design
For the City of Dawson, Dawson City, YT**

Project Location:

Dawson City, Yukon Territory

Submitted by:

Company

Design Team Members

Team Members	Roles and Responsibilities-detailed description to be included in Proposal including work experience in the Yukon

Add additional pages to the List if necessary.

FORM OF TENDER - Form C

List of Sub-Consultants

Project Title:

**Solid Waste Management Program Design
For the City of Dawson, Dawson City, YT**

Project Location:

Dawson City, Yukon Territory

Submitted by:

Company

List of Sub-consultants if applicable

Item of Work	Sub-consultants Name, Roles and Responsibilities-detailed description to be included in Proposal including work experience in the Yukon

Add additional pages to the List if necessary.

FORM OF TENDER - Form D
Phases of Services and Contract Values and Schedule

Project Title:

**Solid Waste Management Program Design
For the City of Dawson, Dawson City, YT**

Project Location:

Dawson City, Yukon Territory

Submitted by:

Company

Information Review Phase	\$ _____	or	_____ %
Site Familiarization Phase	\$ _____	or	_____ %
Consultation with all Stakeholders	\$ _____	or	_____ %
Design Development Phase	\$ _____	or	_____ %
Final Design and Report	\$ _____	or	_____ %
TOTAL:	\$ _____	or	_100_ %

Information Review Phase	Start date_____	End Date_____
Site Familiarization Phase	Start date_____	End Date_____
Consultation with all Stakeholders	Start date_____	End Date_____
Design Development Phase	Start date_____	End Date_____
Final Design and Report	Start date_____	End Date_____

Refer also to Proposal Pages for additional information if applicable.

FORM OF TENDER - Form E
List of Addenda

Project Title:

**Solid Waste Management Program Design
For the City of Dawson, Dawson City, YT**

Project Location:

Dawson City, Yukon Territory

Submitted by:

Company

Declaration of Addenda received and reviewed

I/We have received Addendum # __ to # __ and understand that they form part of the contract documents.

Signature of Company Representative

Date

FORM OF TENDER - Form F
Work Experience and References

Project Title:

**Solid Waste Management Program Design
For the City of Dawson, Dawson City, YT**

Project Location:

Dawson City, Yukon Territory

Submitted by:

Company

List of Projects and Client Contacts for reference check

Project Name, Description and Location	Client Contact/Reference

Add additional pages to the List if necessary or refer to applicable Pages in Proposal.

SIGNATURES:

Signed and Submitted by:

Company name

Name and title of authorized signing officer

Signature of authorized signing officer

Name of witness

Signature of Witness

Name and title of authorized signing officer

Signature of authorized signing officer

Name of witness

Signature of Witness

Dated this _____ day of _____, 2018.

Note: Affix corporate seal as required by Bid Documents.

Background

The City of Dawson (CoD) in partnership with Yukon Government (YG) and in collaboration with the Conservation Klondike Society (CKS) wishes to explore the construction of a new Solid Waste Diversion Center (SWDC). The site for the SWDC, Lot 11, Guggieville Subdivision, was given to the CoD from YG. The site has been surfaced with gravel and a perimeter fence has been constructed. The site is now ready for the construction of a new SWDC. See Map, Appendix G.

There have been many Solid Waste Management plans, reports and studies commissioned for the City of Dawson in the past. These studies include:

- CKS Quigley Sustainable Landfill Study – Phase 1 (2008) Refer to Appendix B
- City of Dawson Waste Management Plan (2011) Refer to Appendix C
- Quigley Solid Waste Management Facility Solid Waste Management Plan 2013-2023 (2013) Refer to Appendix D
- City of Dawson Solid Waste Diversion Centre Discussion Document 02-11-2015 (2015) Refer to Appendix E
- AYC Solid Waste Management: Vision for a sustainable Model for Yukon Communities (2016) Refer to Appendix F

These documents outline objectives and guiding principles that shall be used in the development of the Solid Waste Management Program Design.

Current Status

Municipal solid waste is hauled to the Quigley Landfill which is currently operating under a Solid Waste Management Plan that expires in 2023.

It is estimated that 10% of the municipal solid waste (MSW) and the construction and demolition waste (C&D) stream is currently being diverted from the landfill through segregation of clean wood and brush, composting, free store operations, tire recycling, e-waste collection, white metals, scrap metals and recycling.

As stated in the Quigley Solid Waste Management Facility Solid Waste Management Plan 2013-2023, a diversion target of 34% in the MSW stream by 2023 is achievable by means of public education regarding segregation of recyclable, compostable and salvageable materials, incentive programs and enforcement. Primary divertible material categories from the MSW stream include paper, metals, plastic, and organics.

CKS currently operates two recycling depots in Dawson City, one downtown and one at the Quigley Solid Waste Management Facility. A private curbside collection service for recyclables is also available in Dawson. Currently 43 households are signed up for this service. CKS has

indicated that they are operating at or beyond capacity with the existing infrastructure that is in place and the volumes that they are processing.

Curbside waste collection is contracted to a private hauler. Residential waste is collected once per week. Commercial waste is collected as often as is necessary to keep up with the amount of waste being generated by the businesses. There is currently no incentive for citizens, businesses, government agencies and other organizations to reduce waste generation or increase waste diversion. The curbside collection service has been costing CoD as much as \$300,000/year.

Scope of Work and Deliverables

Thorough stakeholder consultation with the Conservation Klondike Society and City of Dawson staff will take place in Dawson City, Yukon. Stakeholder consultation with YG Community Operations may take place by phone.

A summary report of the stakeholder consultation shall be submitted to City of Dawson for feedback prior to the Solid Waste Management Program Design development.

The Solid Waste Management Program Design will then provide:

- A summary description of the existing City of Dawson solid waste management practices including a review of current infrastructure related to curb side waste collection and recycling services.
- Recommendations for developing a formal City-wide recycling program which will include upgrading current infrastructure, designing new processes and fee structures to sustainably meet Dawson's recycling and solid waste program needs.
- An outline of additional suitable diversion options to be explored in the future.
- A multi-criteria analysis, including a cost benefit, of City of Dawson operated waste collection services identifying areas of opportunity and improvement which may recommend bringing this service in house.
- A summary report presenting options and costs of program design & development with suggestions on how the options could be incorporated into the design of the new diversion center, curbside collection services and how this can be communicated to the public and clients.
- A Class D Construction Cost Estimate based on square footage and type/quality of required infrastructure and equipment that would need to be put into place as per summary report.
- A presentation of the summary report to City of Dawson Mayor and Council to take place in Dawson City, Yukon.

The City of Dawson has a lot of information on how to move forward with their waste management goals, please see Appendices. The Solid Waste Management Program Design is intended to set out the road map on exactly how to get there.

The Solid Waste Management Program Design will focus on developing a formal City-wide recycling program. It shall speak to specific infrastructure the City of Dawson will need to put into place such as vehicles and bins for curbside collection of recyclables and any other related equipment. This will inform the design of the new diversion center in terms of how divertible waste gets dropped off and processed in the facility.

The Solid Waste Management Program Design shall also inform the City of Dawson on how to enact policy, legislative and service level changes for the curbside collection of waste to both residential and commercial users. Some potential service level changes are:

- Reduce residential curbside collection of waste to every two weeks
- Offer an alternate week curbside collection for recyclables
- Reduce commercial curbside collection of waste to once per week forcing businesses, government agencies and other organizations to contract privately for any additional pickup requirements.

The main focus of the Solid Waste Program Design will be on recyclables as the City of Dawson is preparing to build a new diversion centre that will provide the required infrastructure to handle the increased volumes of recyclables expected with service level changes. Once the City of Dawson tackles this waste stream, it can begin to look further at compost. Enacting a City-wide composting program with curbside collection will also require significant investment in infrastructure such as a proper composting facility and supporting equipment at the Quigley landfill.

Considerations

The following are some ideas that have been presented in previous reports to promote increased diversion and reduce waste generation:

Provide Infrastructure to meet diversion needs as projected for the next 20 years:

- New Diversion Center
- Municipal Compost Facility
- Storage for paper, household hazardous waste, e-waste

Provide financial incentive for diversion and implement cost recovery for all users:

- Reduce municipal taxes (take out collection costs) and implement a bag fee for garbage that must be buried
- Implement tipping fees for other waste that must be buried such as unsorted construction waste and un-bagged domestic waste
- Implement tipping fees for divertables for which the City must pay disposal fees
- Implement cash register and checkpoint gate and scales for landfill
- Develop and enforce bylaw for improper dumping

Implement other diversion initiatives:

- Waste oil facility
- Waste liquid contaminant facility
- Secure regular schedule with YG for shipping out scrap metal, tires, waste liquid contaminants, cable
- Secure backhaul and safe disposal of e-waste
- Proper cardboard diversion
- Expand to residential curbside recycling pick-up
- Expand to residential curbside compost pick-up
- Composting of bio-solids from the Waste Water Treatment Plant

Other Interlinked Requirements

- Public Education
- benefits of diversion both economically and environmentally
- cost recovery
- Landfill Attendant Associated Duties
- Stopping every vehicle, tallying, collection of bag fees/tipping fees, proper temporary storage and segregation of divertible material, maintenance of municipal compost, waste oil monitoring

Alignment to Official Community Plan and Municipal Priorities

Official Community Plan

3.7 Environmental Stewardship

Dawson is located in a beautiful area and surrounded by a rich and vibrant natural environment. Addressing important local environmental impacts is essential to Dawson’s overall sustainability.

Long-term goal:

Minimize the environmental impacts of municipal regulations, programs, services and projects.

Implementation approaches include:

d. Consider examining methods and approaches to delay the need for the opening of a new landfill such as supporting further recycling and waste diversion programs.

End of Terms of Reference

THE CITY OF DAWSON

Request for Decision



TO: Mayor and Council
FROM: Marta Selassie, Recreation Manager
DATE: January 12, 2018
SUBJECT: Recreation Grant Applications

RECOMMENDATION

That Council approve the Recreation Grants, as recommended by the Recreation Board in the amount of \$1000.

BACKGROUND / STATUS

The Recreation Board dispenses two levels of funding under the Recreation Grant Program. Level 1 is intended for individuals or small groups. Level 2 is for community groups, organizations, non-profits and leagues. The 2017-18 Community Lottery Program total funding provided to the City is \$32,368. There has been \$26,931.95 of this total, allocated to date.

CONSIDERATIONS / DISCUSSION

The Recreation Board recommends to Council that the amount below be approved by resolution. If the recommended grant below is approved \$4,436.05 will remain for 2017-18 funding period.

Project / Description	# of participants	Applicant	Request	Rec. Grant	Approved for
Myth & Medium ~ jigging instructors	370	Tiss Clark	\$1000	\$1000	Instructor fees
TOTALS			\$1000.00	\$1000.00	

APPROVAL & CAO COMMENTS

CAO Date:

THE CITY OF DAWSON

Request for Decision



TO: Mayor and Council
FROM: Trina Buhler, Project Manager City of Dawson
DATE: January 12, 2017
SUBJECT: Swimming Pool OHS Requirements, Budget Amendment, and Gas Tax Application

RECOMMENDATION

THAT Council approve an amendment to the 2018 capital budget in the amount of \$306,250.00; and

THAT Council provide feedback on the OHS items to be included in the scope of work of the Swimming Pool RFP; and

THAT Council direct Administration to apply for Gas Tax Funding for the OHS items at the Swimming Pool.

PURPOSE

To ensure the continuity of indoor aquatic sports in Dawson City.

To provide Council with an update on work required on the pool including a status of the pool, to establish funds for pool upgrades, to provide feedback on the work required, and to direct administration to seek funds from Gas Tax to cover the cost of the pool upgrades.

BACKGROUND

The pool building was constructed in 2000 and a Myrtha brand pool installed.

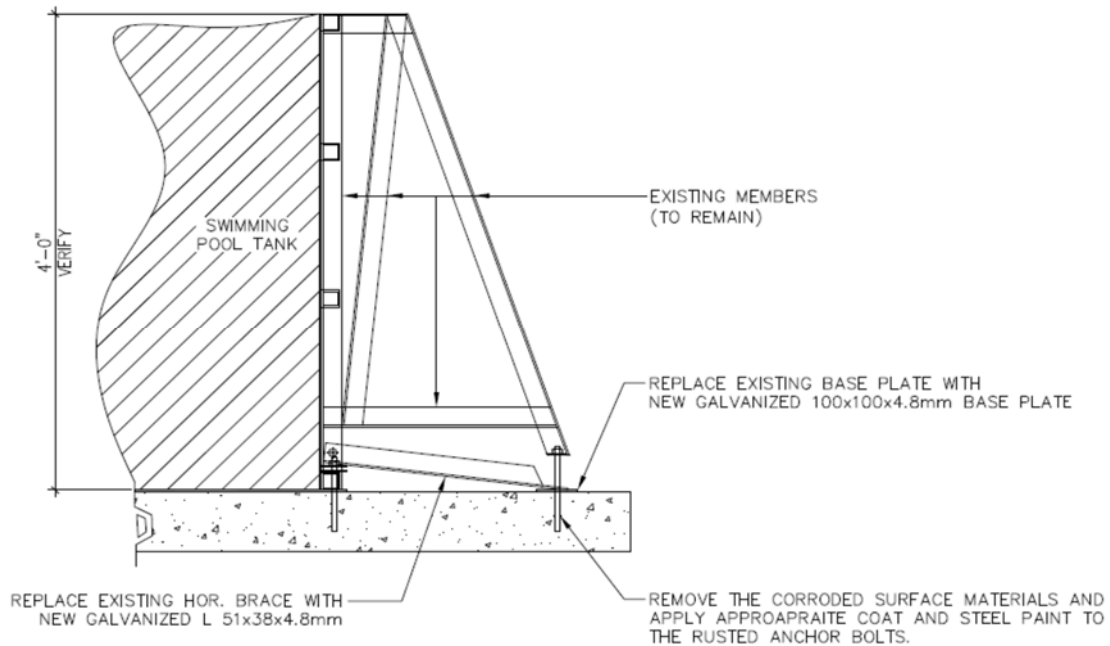
In the spring of 2017, the City of Dawson contacted Master Pools to conduct an inspection of the Dawson City Swimming Pool after concerns re loss of water and structural supports were noted by the facility operators.

On June 24, 2017 **Master Pools**, a Myrtha brand pool authorized installer and the company hired to originally install the pool, provided a report outlining the findings from their June 21, 2017 on-site inspection.

On August 31, 2017 **Yukon Engineering Services**, contracted by **OHS**, provided a structural assessment of the swimming pool structure based on the findings from their August 17, 2017 on-site inspection.

Based on these reports the following actions listed are required by OHS and will be the basis for the scope of work to ensure the continuity of indoor aquatic sports in 2018:

1. Conduct onsite water leak detection test of the swimming pool area by an expert pool technician and repair or reseal permanently the suspected or identified leak points with appropriate wet liner patch kit or approve equal recommended by pool experts.
2. Replace corroded base plates with new galvanized 100x100x4.8mm base plates as shown in structural details below.
3. Remove corroded materials with wire brush and apply steel paint to the rusted bolts with an oxygen barrier primer such as Par 15 and finish to match existing. Also, tighten the loose nuts and washer using wrench and apply two part of epoxy resin onto the threads to restrict the nuts from loosening.
4. Replace all deteriorated or rotten wooden sill plates with new 2x6 pwf lumber under the supervision of a Professional Structural Engineer. Anchoring or log screws to be used must be galvanized materials to minimize corrosion due to constant moisture and exposure to water ponding. Structural support or formworks of the main floor must also be provided before or during the replacement of the affected bottom sill plates under the supervision of a Professional Structural Engineer.
5. Replace all existing horizontal steel brace with new angle L 51x38x4.8mm (galvanized) and corroded base plates with new 100x100x4.8mm (galvanized) base plates as shown in structural details below under the supervision of a Professional Structural Engineer.
6. Remove corroded materials with wire brush and apply steel paint to the rusted bolts with an oxygen barrier primer such as Par 15 and finish to match existing. Also, tighten the loose nuts and washer using wrench and apply two part of epoxy resin onto the threads to restrict the nuts from loosening.



CURRENT STATUS

The City of Dawson has received an estimate from an authorized Myrtha brand pool installer and is awaiting an estimate from a second authorized installer. Based on this, Administration is requesting Council amend the 2018 capital budget to include \$306,250.00 prior to the City tendering this work via Request for Proposals (RFP).

Feedback from Council regarding the actions listed is requested at this time and will be incorporated in the RFP.

Direction from Council regarding whether to apply for Gas Tax funding for the actions listed is requested.

CONSIDERATIONS / DISCUSSION

The listed actions are required by OHS prior to opening in 2018. Failure to complete this work would result in pool closure until this work is completed.

A tentative schedule would be as follows:

Jan 22	Committee of the Whole Review – secure funds
Feb 12	Council Review – secure funds
Feb 13	Issue Request for Quotes (3 weeks)
Mar 6	Tender Deadline
Mar 12	Committee of the Whole Review – award tender

Mar 19	Council Review – award tender
Mar 20	Award Tender
Mar 21	Material Fabrication and Shipping (4 weeks)
Apr 18	Construction Starts (3 weeks)
May 9	Construction Ends

The above schedule does not leave much room for error or delay. If Administration could tender the work prior to the securing of funds through a caveat that "award is dependent on appropriation of funds" the tendering process could move ahead in advance of the Feb 19 Council Review.

Awarding of the successful proposal will come back to Committee of the Whole on March 12 and Council on March 19.

IMPLICATIONS

General:

The listed actions are required by OHS prior to opening in 2018.

Staffing:

Awarding this project will mean an investment in time by the Project Manager for planning and administering the contract.

Financial:

Gas tax funding will be requested.

Policy / Legislated Requirements:

The action required for compliance to the OHS order is to provide a work plan to implement the required remediation as per the "Structural Assessment Report: City of Dawson Swimming Pool" dated August 31, 2017 by Mr. Noel Carpina M. Sc Eng P. Eng.

Legal:

A legal opinion is not required.

Follow up Action:

Not applicable.

Communication:

Not applicable.

RELEVANT CONSULTATION

Not applicable.

ALIGNMENT TO OFFICIAL COMMUNITY PLAN & MUNICIPAL PRIORITIES

Bylaw No. 12-23:

Official Community Plan:

Maintain and develop quality recreational infrastructure and facilities.

OPTIONS

1. THAT Council approve an amendment to the 2018 capital budget in the amount of \$306,250.00.
- OR
2. THAT Council not approve an amendment to the 2018 capital budget in the amount of \$306,250.00.

AND

1. THAT Council provide feedback on the OHS items to be included in the scope of work of the Swimming Pool RFP;

AND

1. THAT Council direct Administration to apply for Gas Tax Funding for the OHS items at the Swimming Pool.
- OR
2. THAT Council direct Administration to not apply for Gas Tax Funding for the OHS items at the Swimming Pool.

APPENDICES / SCHEDULES

Swimming Pool Structural Assessment Report – August 31, 2017
NCA Budget Dawson Pool Walls 20171211 – December 11, 2017
NCA Budget Dawson Struts 20171211 – December 11, 2017

APPROVAL & CAO COMMENTS

CAO:

Date:



STRUCTURAL ASSESSMENT REPORT

City of Dawson Swimming Pool

FIFTH AVENUE, DAWSON CITY, YUKON



Date: August 31, 2017

Address: Yukon Engineering Services
1-151 Industrial Road
Whitehorse, YT
Y1A 2V3

Phone: 867-668-2000

Fax: 867-667-2220

Contact: Noel Carpina, M.Sc. Eng., P. Eng.

E-Mail: ncarpina@yes-group.ca



Yukon Workers' Compensation Health and Safety Board

401 Strickland St., Whitehorse, YT Y1A 5N8
867-332-1061 | Shauna.MacLean@gov.yk.ca

Attention: Shauna MacLean
Safety Management Consultant,
Occupational Health and Safety

RE: Structural Assessment of the City of Dawson Swimming Pool
Fifth Avenue, Dawson City, Yukon

1 INTRODUCTION

Yukon Engineering Services Inc. (YES) was commissioned by Shauna MacLean, Safety Management Consultant, Occupational Health and Safety of the Yukon Workers' Compensation Health & Safety Board (YWCHSB) to perform a structural inspection and prepare a condition assessment report for the existing swimming pool located at Fifth Avenue, Dawson City, Yukon.

A recent report prepared by Master Pools Alta Ltd. about the swimming pool condition triggered YWCHSB and the City of Dawson to consult a Structural Engineer to urgently investigate the state condition of the pool structure with regards to structural stability of pool support elements and life safety.

YES has completed the following tasks:

- Conduct site investigation, evaluation, and detailed visual inspection of existing structural elements, supports, and connection details integrated within the swimming pool;
- Review of structural as-built plans, connection details, technical specifications, and previous reports related to the stated condition of the pool structural support; and
- Prepare structural assessment report with recommendations to conform with the minimum requirements for life and safety of the 2015 National Building Code of Canada.

The basic intent of this structural assessment is to categorically identify, in general terms, as to whether or not the swimming pool or parts of the pool itself are safe to occupy on either full time or for limited time periods, and provide remedial measures of the affected structural members or elements.

On August 17th, 2017, Shauna MacLean of YWCHSB contacted YES to conduct a site assessment for the City of Dawson Pool. The field investigation was conducted on the same day by Noel Carpina, M.Sc.Eng., P.Eng. (YES Senior Structural Engineer) along with the YWCHSB Safety Management Consultants. Our report is based on actual information obtained during the site visit such as the visual inspection of the structural component and site photographs taken to support the condition assessment.

This evaluation report does not include nor imply any review of the structural design and seismic upgrades for their conformity to any applicable National Building Code of Canada, and/or Territorial design guidelines.

2 REFERENCES

For YES review reference, the City of Dawson provided us with a set of as-built structural and architectural drawings of the building housing the indoor swimming pool dated April, 2000. Also, YWCHSB provided us a copy of previous assessment report of the swimming pool dated June 24, 2017. However, there were no available as-built drawings or manufacturers details for the constructed swimming pool during our structural assessment and review.

3 PROJECT DESCRIPTION

The City of Dawson Pool building is a one-storey wooden type structure with crawl space, located at Fifth Avenue, Dawson City, Yukon. The main floor gross area is approximately 1,500 m². The building structure was designed in accordance with the requirements of the 2000 National Building Code of Canada and was constructed in the same year.

The swimming pool is a pre-engineered type or modular system structure manufactured 15 years ago by Myrtha in Italy. The City of Dawson Pool is an indoor type swimming pool but is used only (seasonal) from May to September each year. Before winter starts, the pool is drained completely, including all pipes, to keep from freezing during winter season.

4 STRUCTURAL ASSESSMENT AND RECOMMENDATION

After conducting the field investigation, the following structural condition assessment with recommendations has been carefully made:

- **Existing concrete base pad supporting the swimming pool with buttress support (refer to Appendix "A" - Figure 1).**
 - *The concrete base pad does not pose any signs of structural distress and is considered structurally safe and sound.*

- **Buttress support for the whirlpool at crawl space in between Gridline 4 and 5 (refer to Appendix "A" - Figure 2).**
 - *The buttress supporting the whirlpool is in good condition and does not pose any signs of structural concern.*

- **Water ponding and wetness of the concrete base slab supporting the swimming pool (refer to Appendix "A" - Figure 3 to 6) and continuous water leakage at the pool panel joints (refer to Appendix "A" - Figure 7).**

Based on our observation, about 70% of the area of concrete base pad that supports the pool is currently wet, and the majority of it has constant moisture presence and water ponding staining for quite some time. Indeed, around 80% of the base plates and horizontal steel supports that directly lean on the wet concrete pad are severely corroded, completely detached from the anchor bolt connections, and obviously does not have any strength or structural capacity at all to hold the stresses induced by the pool water pressure.

- *Conduct an onsite water leak detection test of the swimming pool area by an expert pool technician or master pool trades, and repair or reseal permanently the suspected or identified leak points. All found leaks must be fixed immediately with appropriate wet liner patch kit or approve equal recommended by pool experts.*

- *Periodic pool water leaks monitoring and maintenance check up should be undertaken by the pool technician in abeyance of possible same scenario problems in the future. Constant water exposure or moisture presence of structural members will deteriorate over time and compromise the structural integrity of the pool structure as a whole.*

- **Anchor bolts and base plates corrosion in 3 different locations (refer to Appendix "A" - Figure 8).**

The water ponding and constant moisture presence on the concrete pad induced the corrosion of the steel base plates and non-galvanized anchor bolts which are directly expose to the pad surface.

- *Replace corroded base plates with new galvanized 100x100x4.8mm base plates as shown in structural details below.*
- *Remove corroded materials with wire brush and apply steel paint to the rusted bolts with an oxygen barrier primer such as Par 15 and finish to match existing. Also, tighten the loose nuts and washer using wrench and apply two part of epoxy resin onto the threads to restrict the nuts from loosening.*

- **Bearing wall deterioration of wooden sill plates including log screws corrosion in all areas under water ponding and constant surface moisture presence (refer to Appendix "A" - Figure 9).**

- *All deteriorated or rotten wooden sill plates must be replaced with new 2x6 pwf lumber under the supervision of a Professional Structural Engineer. Anchoring or log screws to be used must be galvanized materials to minimize corrosion due to constant moisture and exposure to water ponding. Structural support or formworks of the main floor must also be provided before or during the replacement of the affected bottom sill plates under the supervision of a Professional Structural Engineer.*

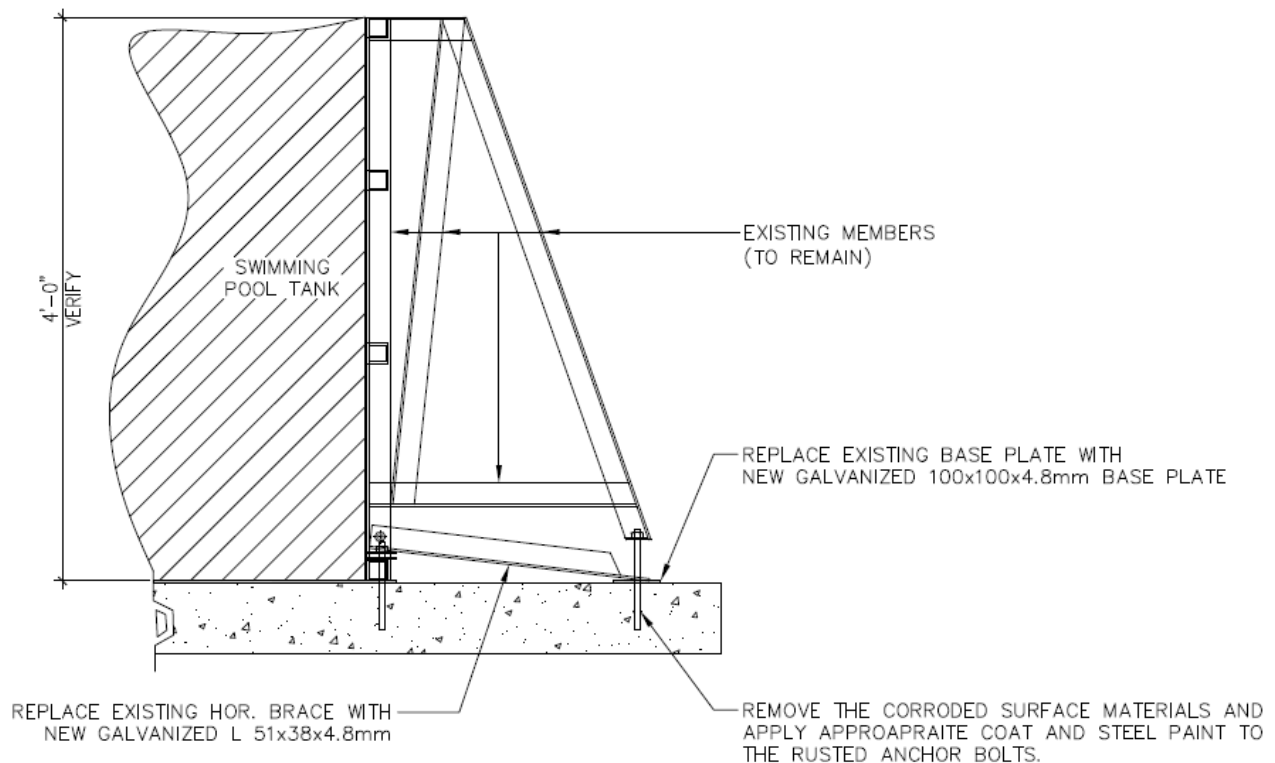
- **Majority of the bottom horizontal steel braces and base plates of the buttress components supporting the swimming pool perimeter walls are affected by corrosion (refer to Appendix "A" - Figure 10).**

The pool water leakage leads to constant moisture of the concrete slab and water ponding where the bolts, base plates, and horizontal braces are directly exposed to the pad surface has caused material deterioration over time. It is also evident that there was no regular maintenance and monitoring of the swimming pool conducted, such as fixing the leaks and providing corrosion protection of structural elements that have been infected by it over time.

- *Replace all existing horizontal steel brace with new angle L 51x38x4.8mm (galvanized) and corroded base plates with new 100x100x4.8mm (galvanized)*

base plates as shown in structural details below under the supervision of a Professional Structural Engineer.

- **Remove corroded materials with wire brush and apply steel paint to the rusted bolts with an oxygen barrier primer such as Par 15 and finish to match existing. Also, tighten the loose nuts and washer using wrench and apply two part of epoxy resin onto the threads to restrict the nuts from loosening.**



Structural Details

5 CONCLUSIONS

After conducting the engineering field review and visual inspection, the City of Dawson Swimming Pool does not pose any extreme structural or other hazards at present. Though majority of the bottom horizontal brace including base plates supporting the perimeter wall of the swimming pool structure were severely damaged due to corrosion, there are no imminent risks of collapse based on our field investigation of structural elements.

The swimming pool can still be used fully this season, but afterwards immediate repair and reinforcement of the affected structural elements are hereby recommended as discussed thoroughly in Section 4 (Structural Assessment and Recommendation).

6 REPORT CERTIFICATION

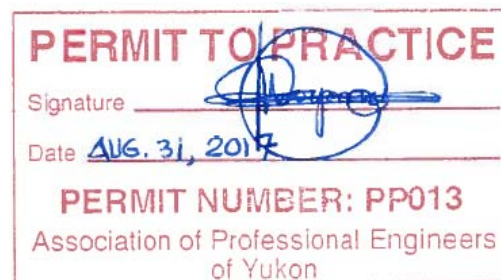
Yukon Engineering Services Inc. (YES) is pleased to submit this structural assessment report and certification along with our immediate remedial recommendations for the damaged horizontal steel support of the pool.

We trust that the information provided herein fulfills your requirements. Should you have any questions or clarifications, please don't hesitate to contact the undersigned at your convenience at (867)668-2000 or ncarpina@yes-group.ca.

Yukon Engineering Services Inc.

Per:

Noel C. Carpina, M.Sc.Eng.,P.Eng.
Senior Civil/Structural Engineer



Appendix A

Site Photographs

Figure 1: Photos showing existing concrete *foundation wall* along Gridline B and *crawl space* access to the swimming pool buttress support and concrete base pad.



Figure 2: Photos showing *buttress support for the whirlpool* at crawl space in between Gridline 4 and 5.



Figure 3: Photos showing *water ponding and wetness* of the pool concrete slab towards and parallel to Gridline B.





Figure 4: Photos showing *water ponding and wetness* of the pool concrete slab towards and parallel to Gridline 1.



Figure 5: Photos showing *water ponding and wetness* of the pool concrete slab towards and parallel to Gridline A.



Figure 6: Photos showing *water ponding and wetness* of the pool concrete slab towards and parallel to Gridline 6.



Figure 7: Photos showing *water leaking* from the wall of the pool parallel to Gridline 6.



Figure 8: Photos showing *anchor bolts corrosion & base plates* in 3 different locations.

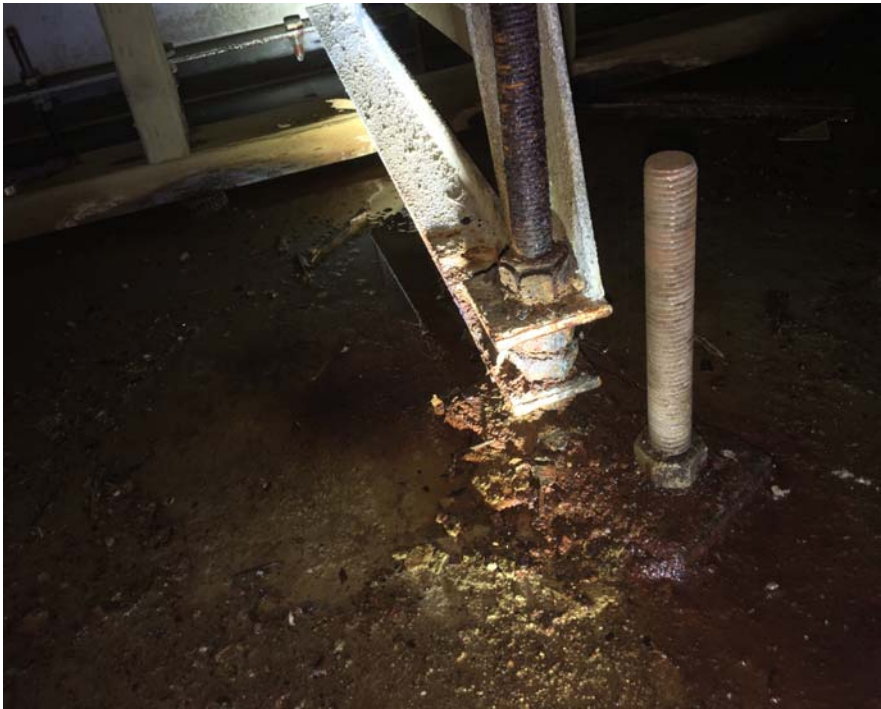


Figure 9: Photos showing *bearing wall deterioration of wooden sill plates including log screws corrosion* in all areas under water ponding and constant moisture.



Figure 10: Photos showing **corroded horizontal brace at the bottom and base plates** in almost 80% of the buttress supporting the swimming pool structure.













11 December 2017
NCA-LTR-1712112

Marta Selassie
Recreation Manager
City of Dawson
City of Dawson, YK Y0B 1G0

Subject: Myrtha Pool Wall Repair

As a follow up to the September 2017 site visit report, please find our budget for the Myrtha Pool wall membrane replacement at the City of Dawson Pool. We would be happy to explore this in more detail to refine the scope and prepare a detailed scope and formal quotation.

The inspection of the pool finish indicates that the pool walls are in poor condition. Staff report that the pool walls leak behind the tile finish at the water line, and have also had leaks in the pool wall seams, that have been temporarily patched using vinyl liner type patches. Further, staff report that the tile at the water line is an on-going maintenance issue, with tile cracking and or chipping, which creates safety concerns for the swimmers. The pool edge is also a source of on-going maintenance, as the epoxy deck finish needs frequent repairs. The pool floor membrane appears to be in very good condition. There are a few minor bubbles, that can be addressed without a full floor membrane replacement. The pool main drains also appear in very good condition with just minor surface corrosion of the stainless steel, that can be cleaned and passivated easily.

The recommendation is to remove the tile at the waterline, and replace it with a rigid PVC spacer. New Myrtha Pools reinforced PVC membrane would be placed on all of the pool walls, connecting at the pool floor, and extending up over the top of the pool wall, and terminating approximately 150mm from the pool edge. The portion of the beach that extends up from the beach gutter to the pool deck would also be replaced, and include Softwalk padding underneath this membrane on the sloped portion. This repair eliminates the maintenance associated with the tile waterline, and provides a new water-proof finish to the pool walls. Also, by extending the pool wall finish beyond the joint between the pool structure and the deck structure, any leaks at this joint are also eliminated. New wall targets for 4-lane swimming would be painted in PVC on site, as per the latest Myrtha Pools standard. As part of this repair, new face plates/grilles would be provided for the beach gutter, skimmers, and floor returns.

Item #1: Myrtha Pool Wall Membrane Replacement

For the supply and installation of the following items:

Dimensions: 25m x approx. 14m pool, with ramp entry, and 0.0m to 2.0m depth profile.

Location: Indoor, corridor construction.

Existing Technology: Myrtha PVC-laminated stainless steel panels.



16 Hammersmith Ave.
Suite 100
Toronto Ontario
CANADA M4E 2W4

PHONE +1.905.220.3961
E-MAIL don.richardson@ncaquatics.com
WEB SITE www.ncaquatics.com

Existing Top profile: Myrtha Ceramic Skimmer profile on all sides. Outside beach entry, with waterline gutter.

Includes:

Prepare existing pool tank, including cleaning and patching as required (excludes tile removal),
Prepare pool deck, at transition and beach gutter, to accept the membrane finish,
Identify and report to owner, any discovered issues that require repairs before refinishing can proceed,
Install PVC in tile recess at waterline,
Install Myrtha membrane and skirting on vertical walls,
Install Myrtha Softwalk and membrane on beach entry above the beach gutter,
Install new gutter grating in beach gutter,
Replace skimmer face plates and gaskets,
Replace floor return face plates and gaskets,
Paint wall targets for 4-lane swimming,
Re-use wall mounted rope anchors.

Excludes:

All pool tile removal and disposal. This is more affordable using local forces.
All waste material disposal. Forces will place waste in Town provided disposal bins.
Any repair to the Myrtha Pool structure.
Repair or replacement of pool piping, fixtures, skimmers, except as specifically identified above as in scope.
Any remediation, repair or replacement of filter room equipment.
Deck works beyond the extend of the Myrtha Revitalization system described above,
Lane ropes, and deck equipment.
Any and all permits.

Net Sell - Item #1 Net Sell = \$170,000*

THIS IS A BUDGET ESTIMATE FOR CAPITAL ALLOCATION PURPOSES ONLY, AND DOES NOT REPRESENT A COMPETITIVE OR FORMAL OFFER.

***Notes and Conditions**

Excludes all taxes, and permits.
Excludes installation except where it is specifically included in the above items.
DDP Dawson – includes freight, duty and brokerage to pool site.
Budget estimate for this project only, for shipment before December 2018. Delays beyond this date may result in added costs to cover price increases.
Customer shall unload container by hand upon arrival, or shall make other arrangements with shipping company. Containers cannot be left on site for more than 2 hours,
Terms: 10% deposit with order, 50% paid to schedule shipment, balance on completion.
Guarantee: 25 years on Myrtha structure, 10 years on PVC membrane, 1 year all other items.

Notes:

Shop drawings 3 weeks from confirmed order.
Shipment approximately 60 days from complete approved drawings.



16 Hammersmith Ave.
Suite 100
Toronto Ontario
CANADA M4E 2W4

PHONE +1.905.220.3961
E-MAIL don.richardson@ncaquatics.com
WEB SITE www.ncaquatics.com

45-days transit time.

Installation by unauthorized installers (installers lacking adequate experience in the sole judgment of Myrtha Pools, and/or not having successfully completed a factory training program by Myrtha Pools within the 12 months before installation of this pool begins) will not be accepted by Myrtha.

Myrtha factory supervisor is NOT included, but can be added for C\$750.00/day away from home base, plus expenses. Supervisor must be booked in writing at least 3 weeks in advance. Supervisors will be scheduled in priority sequence.

Customer is responsible for room and board of supervisor.

Myrtha provides static calculations for review by your engineer.

Other Considerations

Mechanical, electrical, civil, backfill, deck construction, coping, concrete works, tile installation, engineering stamps, permits all not included.

Skimmers, wall inlets, water play features, rail anchors, hydrotherapy jets, water tunnel jets, lamps and other in-pool fittings can be sourced locally, but must be reviewed by Nationwide Commercial Aquatics Inc. ("NCA") and accepted in writing to protect guarantee. We require a liner clamping detail with double gaskets for all pool penetrations.

An ambient temperature of 15 degrees Celsius or higher is required for proper sealing of wall panels, and/or membrane installation.

Concrete beneath PVC membrane must be flat, smooth (steel-trowel or helicopter finish) and free of irregularities. Concrete below the Softwalk floor must be brush finish – it does not need to be so smooth, but cannot have sharp peaks. Edges between planes must be sharp and straight, forming facets, rather than rounded curves.

Job Site Requirements

We are proceeding based on the assumption that we will be a major presence on the job site during repair of the pool structure, but that we will not be responsible for general site management. Thus, we have not included general site management items in our budget estimates. These items, including security, shipping and receiving, temporary power, temporary lighting, temporary water, general job site management, temporary restrooms, work site ventilation, work site lighting, site drainage, site preparation, parking, roads, signage, general site safety management, as well as other jobsite services or requirements, are to be provided by others to local standards and to our requirements.

We also require dry and comparatively dust-free conditions for some operations.

The installation of the Myrtha Pools materials requires the use of power tools, lights, pneumatic tools and hand tools. We will provide secure job boxes as we require for onsite staff. We expect the client to provide a suitable secure space for these items, as well as temporary power, and lighting for it as well. The client shall provide a secure storage area for our materials and tools and site security during construction and commissioning.

Please review carefully and feel free to contact us to discuss any concerns.

Sincerely,

Don Richardson
Technical Director



16 Hammersmith Ave.
Suite 100
Toronto Ontario
CANADA M4E 2W4

PHONE +1.905.220.3961
E-MAIL don.richardson@ncaquatics.com
WEB SITE www.ncaquatics.com



11 December 2017
NCA-LTR-1712111

Marta Selassie
Recreation Manager
City of Dawson
City of Dawson, YK Y0B 1G0

Subject: Myrtha Pool Structural Repair

As a follow up to the September 2017 site visit report, please find our budget for the structural repair of the Myrtha Pool at the City of Dawson Pool. We would be happy to explore this in more detail to refine the scope and prepare a detailed scope and formal quotation.

An inspection of the pool structure confirmed that there has been considerable corrosion on the supporting structure of the Myrtha Pool. This corrosion has affected the supporting struts to vary degree, including at least 1 complete failure. Leaks in the pool caused the pool water to pond around the struts in many locations. This on-going contact lead to corrosion of the galvanized steel struts, which were fixed against or close to the concrete slab. The supporting buttresses have not been affected. The buttresses are supported above the concrete slab, and were not in direct contact with the standing water.

The recommended repair is the replacement of the struts, with new stainless steel struts, anchored with stainless steel bars. Due to the quantity of struts affected, it is recommended that all of the pool struts be replaced during this repair. The existing struts will be removed, the structure surrounding structure cleaned, and inspected, and the new struts installed and anchored.

Item #1: Myrtha Combination Pool Revitalization

For the supply and installation of the following items:

Dimensions: 25m x approx. 22m pool, with ramp, and river, and 0.0m to 1.9m depth profile.

Location: Indoor, corridor construction.

Existing Technology: Myrtha PVC-laminated stainless steel panels.

Existing Top profile: Myrtha Ceramic Skimmer profile on all sides. Inside ramp, 1.2m wide with handrails on both sides.

Includes:

- Cut and remove all existing struts and associated offset plates,
- Inspect stainless steel buttress anchors, after removal of struts, clean and passivate as required,
- Supply and install new struts at each buttress location, offset from existing buttresses,
- Where pooling water has occurred in the past, grind small channels in concrete apron to guide any water away from the structure.



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Excludes:

Provisions required to ensure a safe work space, including required ventilation during the repair works. The City of Dawson will be responsible for these safe working conditions.
All waste material disposal. Forces will place waste in Town provided disposal bins.
Replacement of buttress anchors, as it is expected the existing anchors are in good condition.
Any remediation, repair or replacement of pool deck structure.
Repair of Repair or replacement of pool piping, fixtures, skimmers, except as specifically identified above as in scope.
Any remediation, repair or replacement of pool mechanical piping, and/or equipment.
Lane ropes, and deck equipment.
Any and all permits.

Item #1 Budget Estimate = \$75,000.00*

THIS IS A BUDGET ESTIMATE FOR CAPITAL ALLOCATION PURPOSES ONLY, AND DOES NOT REPRESENT A COMPETITIVE OR FORMAL OFFER.

***Notes and Conditions**

Excludes all taxes, and permits.
Excludes installation except where it is specifically included in the above items.
DDP Montreal – includes freight, duty and brokerage to Montreal, forwarding to site by others.
Budget estimate for this project only, for shipment before December 2018. Delays beyond this date may result in added costs to cover price increases.
Customer shall unload container by hand upon arrival, or shall make other arrangements with shipping company. Containers cannot be left on site for more than 2 hours,
Terms: 10% deposit with order, 50% paid to schedule shipment, balance on completion.
Guarantee: 25 years on Myrtha structure, 10 years on PVC membrane, 1 year all other items.

Notes:

Shop drawings 3 weeks from confirmed order.
Shipment approximately 60 days from complete approved drawings.
45-days transit time.
Installation by unauthorized installers (installers lacking adequate experience in the sole judgment of Myrtha Pools, and/or not having successfully completed a factory training program by Myrtha Pools within the 12 months before installation of this pool begins) will not be accepted by Myrtha.
Myrtha factory supervisor is NOT included, but can be added for C\$750.00/day away from home base, plus expenses. Supervisor must be booked in writing at least 3 weeks in advance. Supervisors will be scheduled in priority sequence.
Customer is responsible for room and board of supervisor.
Myrtha provides static calculations for review by your engineer.

Other Considerations

Mechanical, electrical, civil, backfill, deck construction, coping, concrete works, tile installation, engineering stamps, permits all not included.
Skimmers, wall inlets, water play features, rail anchors, hydrotherapy jets, water tunnel jets, lamps and other in-pool fittings can be sourced locally, but must be reviewed by Nationwide Commercial Aquatics



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Please review carefully and feel free to contact us to discuss any concerns.

Sincerely,

Don Richardson
Technical Director



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THE CITY OF DAWSON

Request for Decision

TO: Mayor and Council
FROM: Clarissa Huffman, CDO
DATE: 16 January, 2018
SUBJECT: Subdivision Application #17-124
Lot 11 Dredge Pond Subdivision

RECOMMENDATION

It is respectfully recommended that:

1. Council approve Subdivision Application #17-124, subject to the following conditions:
 - 1.1. The applicant submit a Stormwater Management Plan to the satisfaction of the CDO and Public Works Superintendent.
 - 1.2. The applicant shall ensure that all dwellings and structures on the property comply with Zoning Regulations **prior** to commencing the survey, to the satisfaction of the CDO, through one of the following two mechanisms: removing non-compliant structures, or obtaining Board of Variance approval for non-compliant structures.
 - 1.3. The applicant submits a plan of subdivision completed by a certified lands surveyor drawn in conformity with the approval.
 - 1.4. The applicant provides confirmation that all structures on the Lot have the appropriate permits and meet the minimum setback requirements for a R3 zone designation.
 - 1.5. The applicant shall, on approval of the subdivision plan by the City of Dawson, take all necessary steps to enable the registrar under the Land Titles Act to register the plan of subdivision.

PURPOSE

The applicant wishes to subdivide their residential lot at Lot 11 Dredge Pond Subdivision into two properties.

BACKGROUND

The applicant submitted an application on November 24, 2017 to subdivide their 2 acre lot into 2 1 acre parcels.

The application was advertised in December 2017 and January 2018, with a Public Hearing that took place on January 15, 2018. No speakers attended the Public Hearing to speak either for or against this application, however staff did receive confidential

concerns via email. These concerns will be contemplated in the Considerations/Discussion section of this report.

CURRENT STATUS

In order to meet legislated timelines for this application, the deadline for decision on this application is February 26, 2018. All legislated notice requirements have been fulfilled, and Council now has the opportunity to contemplate the recommendations of the CDO.

CONSIDERATIONS / DISCUSSION

Comments

Public Works was asked to comment on this application for purposes of assessing access, lot grading, slope stability, and other operating requirements. No negative impacts were identified, however it was noted that a Stormwater Management Plan should be submitted as a condition of approval.

The application was also circulated to every property owner in a 1km radius of this property, inviting comments and questions. Some concerns were identified during this consultation process.

The first issue raised during consultation was the fact that a 'house trailer' currently exists on the property. This is a result of Development Permit #16-064, approved by the CDO at the time. The application approved a 720 square foot house trailer. This house trailer is in fact a contravention of the Zoning By-Law, given that the minimum floor area of a dwelling is 900 square feet. Given that the Zoning By-Law was in effect at the time that application #16-094 was approved, it appears that this Development Permit was issued in error. It was also stated that there were concerns about the fact that house trailers do not meet the intent of the Official Community Plan; the Country Residential designation speaks to low-density, single detached dwellings in a rural residential setting. Therefore, some residents have expressed concern that industrial-grade trailers used for housing is not appropriate.

Staff is of the opinion that the concerns regarding the intent of the OCP and regarding the size of the structure are valid. The Zoning By-Law Appendix B Section 12(6)a states that a Development Officer may revoke a permit if it was issued in error. Therefore, it is the recommendation of staff that this be remedied as a condition of this subdivision. If the subdivision is not approved, revocation of this permit may still occur.

Another concern raised is that the subdivision of lots in Dredge Pond undermines the intent of the subdivision as a rural residential neighbourhood. This application meets the Zoning Requirements, including the minimum lot size of 1 acre. Therefore, in this specific instance a subdivision could be appropriate as it meets the minimum lot size. Additionally,

it was noted that there is an easement located on the property. However, easements do not reduce the size of the lot; rather, an easement provides an individual with valid surface rights access to a specific portion of the property. Therefore, the easement in question does not affect this subdivision, because the lot is still legally 2 acres. The only impact arising from the easement is that it could potentially affect the property owner's ability to develop on the portion of the lot that has an easement.

Subdivision By-Law

Subdivision Control By-Law S3.01 states that every subdivision of land must be made in accordance with the Municipal Act, the Official Community Plan, the Zoning Bylaw, and the Subdivision Control Bylaw. The Considerations/Discussion section of this report is intended to discuss the proposal's conformity with the provisions outlined in the relevant legislation, policies, and plans.

Municipal Act

The Municipal Act S. 314 details the requirements for any proposed plan of subdivision to have direct access to the highway to the satisfaction of the approving authority. Lot 11 already has two driveways, and the proposed lot configuration allows each proposed lot to have a private driveway. This meets the requirements of S. 314.

S. 319 stipulates that an approval may be valid for a period of up to twelve months. If the applicant has not provided proof that the conditions of approval have been met, under the Act approval is void. The applicant can request an extension of a further twelve months, which may be granted in whole or in part, at the discretion of the approval authority.

Official Community Plan

The property is currently designated as CR – Country Residential. Uses associated with this designation include single detached dwellings on rural lots. Therefore, the two proposed lots would retain the same designation. Any new use or development on the proposed lots would be required to conform to the OCP designation, or else apply for an OCP Amendment.

Zoning By-Law

The property is currently zoned R3 – Country Residential. The Zoning By-Law is intended to implement the goals of the OCP. Therefore, the purpose of the R3 zone as per the Zoning By-Law is to permit a range of low-density, single detached homes on rural lots. A full range of permitted uses and associated provisions are contained in the Zoning By-Law,

and any future development of the proposed lots must also conform with the Zoning By-Law. This proposal would create two residential lots, both that are approximately 1 acre in size, and therefore meet the minimum lot size requirement of 1 acre.

The applicant submitted a site plan detailing a house trailer with two units that is depicted as 5m from the proposed property line, as well as two sheds: one that is 120 square feet and one that is 224 square feet. The applicant will be required to provide, through their survey, confirmation that all three of these structures have the appropriate permits and meet the minimum setback requirements of the lot.

Heritage Management Plan

The property is outside of the area currently under the jurisdiction of the Heritage Management Plan. Therefore, the Heritage Advisory Committee is not required to review this proposal. However, the applicant and any future owners are urged to consider the unique heritage of Dawson City when considering new development of these lots.

OPTIONS

Council may consider one of the following options regarding this application:

- 1. Approve the application as recommended above.
- 2. Approve the application with modifications to the conditions.
- 3. Refuse the application.
- 4. Defer the application for decision at a later date.

APPENDICES / SCHEDULES

- Appendix A. Application
- Appendix B. Site Plan & Map

APPROVAL & CAO COMMENTS

Respectfully Submitted,

Clarissa Huffman, CDO

Date

I have reviewed and have no further comments regarding this report.

Christine Smith, A/CAO

Date



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca

PAID
NOV 24 2017
27473

OFFICE USE ONLY	
APPLICATION FEE:	250 ⁰⁰
DATE PAID:	November 24/17
PERMIT #:	17-124

SUBDIVISION/CONSOLIDATION APPLICATION

PLEASE READ THE ATTACHED INSTRUCTIONS, GUIDELINES AND SUBMISSION REQUIREMENTS PRIOR TO COMPLETING FORM.

PROPOSED DEVELOPMENT

CIVIC ADDRESS: #37 Eureka Drive VALUE OF DEVELOPMENT: _____

EXISTING USE OF LAND / BUILDINGS: _____

PROPOSED DEVELOPMENT: Please provide a brief description of the proposed development, including the legal description (lot, block, estate, plan) of each part to be subdivided/consolidated.

Subdividing a 2 acre property in Dawson City, Y.T.
Lot 11 Plan 99-0199 Dredge Pond sub-division physical address
is #37 Eureka Drive. Y0B 1G0.

APPLICANT INFORMATION

APPLICANT NAME(S): Rosemarie Gassner & Bruce Duffee

COMPANY NAME: _____

MAILING ADDRESS: Box 496 Dawson City, Y.T. POSTAL CODE: Y0B 1G0

EMAIL: rosemariegassner@hotmail.com FAX #: _____

PHONE #: 867-993-5358 ALTERNATE PHONE #: cell 867-993-3048

OWNER INFORMATION

OWNER NAME(S): Rosemarie Gassner & Bruce Duffee

MAILING ADDRESS: Box 496 Dawson City Y.T. POSTAL CODE: Y0B 1G0

EMAIL: rosemariegassner@hotmail.com FAX #: _____

PHONE #: 867-993-5358 ALTERNATE PHONE #: _____

It is the responsibility of the applicant to ensure that all plans conform to the provisions of the City of Dawson Zoning Bylaw and applicable territorial and federal legislation.

FURTHER INFORMATION

ACCESS: Does the proposed development require additional access to any public road or highway? If yes, please name the road and describe the location of the proposed access.

Both sides of the sub divided already have their own access to the property.

WATER: Is the land situated within 0.5 miles of a river, stream, watercourse, lake or other permanent body of water, or a canal or drainage ditch? If yes, please name the body of water and describe the feature.

I think we are pretty close to a .25 miles distance away from the Klondike River

TOPOGRAPHY: Describe the nature of the topography of the land (flat, rolling, steep, mixed), the nature of the vegetation and water on the land (brush, shrubs, tree stands, woodlots, etc., & sloughs, creeks, etc.), and the kind of soil on the land (sandy, loam, clay, etc.).

land is flat on dredge tailings. gravel cover

EXISTING BUILDINGS: Describe any buildings, historical or otherwise, and any structures on the land and whether they are to be demolished or moved:

one side has a modular home with final occupancy. Has two small sheds. One will be moved (Skid Shed) off property.

DECLARATION

- I/WE hereby make application for a Development Permit under the provisions of the City of Dawson Zoning Bylaw No. 12-27 and in accordance with the plans and supporting information submitted and attached which form part of this application.
- I/ WE have reviewed all of the information supplied to the City of Dawson with respect to an application for a Development Permit and it is true and accurate to the best of my/our knowledge and belief.
- I/WE understand that the City of Dawson will rely on this information in its evaluation of my/our application for a Development Permit and that any decision made by the City of Dawson on inaccurate information may be rescinded at any time.
- I/WE hereby give my/our consent to allow Council or a person appointed by its right to enter the above land and/or building(s) with respect to this application only.

I/WE HAVE CAREFULLY READ THIS DECLARATION BEFORE SIGNING IT.

Nov. 24 2017
DATE SIGNED

Rosemarie Duffee
SIGNATURE OF APPLICANT(S)

Bruce Duffee

Nov. 24/2017
DATE SIGNED

Rosemarie Duffee
SIGNATURE OF OWNER(S)

Bruce Duffee



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca

PERMIT #:	
-----------	--

TO BE COMPLETED BY DEVELOPMENT OFFICER

OFFICE USE ONLY

LEGAL DESCRIPTION: LOT(S) _____ BLOCK _____ ESTATE _____ PLAN# _____

ZONING: _____ DATE APPLICATION RECEIVED: _____

TYPE OF APPLICATION: _____ PERMITTED USE: _____

APPLICANT NAME(S): _____

OWNER NAME(S): _____

APPLICATION REJECTED

COMMENTS / REASONS

DATE: _____ SIGNATURE: _____

APPLICATION APPROVED / PERMIT ISSUED

PERMIT CONDITIONS

DATE: _____ SIGNATURE: _____

DEVELOPMENT APPLICATION SUBMISSION REQUIREMENTS

A	Completed Development Application Form, in full
B	Application fee as per the City of Dawson Fees and Charges Bylaw
C	<p>Site Plan indicating existing and proposed lot lines, as well as the following:</p> <ul style="list-style-type: none"> • proposed use and occupancy of the development; • legal description, setbacks, and yard distances of the proposed and existing development relative from property lines and from each other; • location of off-street loading and parking; • all property lines and easements; • lot grading or foundation elevation, including highest and lowest elevations on property, road elevations (include centre line elevation), floor elevations relative to fill/land and existing and proposed utilities; • roads, water bodies, topography, vegetation, and other physical features of the land to be developed; and • north arrow and scale
D	Floor plans, elevations, and sections at a minimum scale of 1:200 or such other scale as required.
E	<p>In the Heritage Management Areas any or all of the following at the discretion of the Development Officer:</p> <ol style="list-style-type: none"> 1. Date, and style of built form. 2. Siting. Annotate drawings and/or photographs to describe the relationship between the proposed development and the context in terms of the following criteria: <ul style="list-style-type: none"> • Predominant setbacks, front, side and rear Orientation • Location, dimensions of circulation/access features • Statement as to how views to and from the development will be retained • Statement as to how significant archaeological features will be retained 3. Scale. Annotate drawings, photographs to describe the relationship between the proposed development and the context in terms of the following criteria: <ul style="list-style-type: none"> • Scale of buildings • Lot coverage - pattern of arrangement of buildings and size of buildings • Floor to floor heights and relationship to the street 4. Form. Annotate drawings, photographs to describe the relationship between the proposed development and the context in terms of the following design criteria: <ul style="list-style-type: none"> • Predominant form of neighbours • Roof form and skyline, ridge lines, roof slopes, chimneys, skylights • Proportions and number of openings • Solids-to-voids ratio • Relationship to internal and external spaces 5. Materials and colours. Drawings or photographs to describe the relationship between the proposed development and the context in terms of the following design criteria: <ul style="list-style-type: none"> • Response to pre-dominant materials, textures, and colour palate - contrasting • Quality of new materials 6. Detailing. Annotate drawings, photographs to describe the relationship between the proposed development and the context in terms of the following design criteria: <ul style="list-style-type: none"> • Relationship of landscape elements to important existing details.
F	<p>In addition, the Development Officer may require the following:</p> <ol style="list-style-type: none"> 1. Geotechnical studies to support the proposed development; 2. An approved onsite sewage disposal system in areas not presently serviced by the City's system; 3. Parking and traffic study; 4. Landscaping site plan; 5. A surveyor's certificate to verify the location of a development; and 6. A certificate from a qualified, registered Professional Engineer or Architect to support the design of buildings and structures and their placement on the land.

Cover Letter:

Rosemarie Gassner and Bruce Duffee
Home address: 425 Turner Street,
Dawson City, Y.T.
YoB 1G0
1-867-993-5358

Rosemarie Gassner and Bruce Duffee

are requesting to sub-divide their property in the Dredge Pond
Sub-Division.

The address is: Lot 11 Plan #99-0199. #37- Eureka Drive.

Dawson City, Yukon Territory

We have enclosed everything in the package required by the City of
Dawson to

proceed with the sub-dividing process.

The parcel of land is a little over 2 acres, as required by the

Zoning: Country Residential.

The proposed lots already has road access to each side.

We look forward to your questions regarding this matter.

Thank you, Rosemarie Gassner and Bruce Duffee

Lot 11 Dredge Pond Subdivision Plan



Legend

- Agricultural Land Dispositions
- Agricultural Land Applications
- Surveyed Land Parcels (<80k)
- Surveyed Easements (<80k)
- Settlement Lands (Surveyed)**
 - A: Surface and Subsurface Rights
 - B: Surface Rights
 - FS: Fee Simple
 - 4.1.1 Retained Reserve
- Settlement Lands (Unsurveyed)**
 - A: Surface and Subsurface Rights
 - B: Surface Rights
 - FS: Fee Simple
- Interim Protected Lands (Unsu)
- Community Boundaries (Land

1: 1,280



0.1 0 0.03 0.1 Kilometers

Yukon Albers
Produced from: Yukon Lands Viewer

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION.

Date Printed: 24-Nov-2017

Notes



THE CITY OF DAWSON

Request for Decision

TO: Mayor and Council
FROM: Clarissa Huffman, CDO
DATE: 17 January, 2018
SUBJECT: Moosehide Slide Municipal Historic Site Nomination

RECOMMENDATION

It is respectfully recommended that:

1. The Moosehide Slide Municipal Historic Site nomination package be forwarded to Council for designation, subject to the following conditions:
 - 1.1. The petitioner submit proposed mitigations regarding active quartz claims within the nomination boundary, to the satisfaction of Council.

PURPOSE

A nomination package was submitted on behalf of Tr'ondëk Hwëch'in for the designation of Moosehide Slide as a Municipal Historic Site.

BACKGROUND

As per the Heritage By-Law #09-04, Council may, by petition by any person, designate any site as a Municipal Historic Site " *when it has determined, in its opinion, that the site is an important illustration of the historic development of the Klondike Valley, or the natural history of the peoples and cultures of the Klondike Valley Cultural landscape*".

A designation of this sort would be made official by By-Law, should Council determine through analysis of the supporting materials provided in this report that the site has sufficient historic significance.

The nomination package presented as a part of this report was analyzed at Heritage Advisory Committee Meeting #17-19, on December 6, 2017. Resolution #HAC 17-19-05 read as follows with a unanimous 3-0 vote:

" THAT the Heritage Advisory Committee forward a recommendation to Council for approval to designate Moosehide Slide as a Municipal Historic Site."

The Community Development Officer agrees with this recommendation, and as such is recommending the same. Further analysis of the nomination package will follow in the Considerations/Discussions section of this report.

CURRENT STATUS

As per the Heritage By-Law, there are required timelines for the analysis, by-law preparation, and public consultation when a nomination package has been submitted by a petitioner. The chart below illustrates the flow of this timeline with tentative dates to demonstrate to Council the process for designation.

Action	Date
Petition to Designate	October 16, 2017
HAC	November 15, 2017 and December 6, 2017
Committee of the Whole	January 22, 2018
Prepare By-Law	January 23, 2018
Written Consent from TH (if Settlement Land)	n/a
Written Consent from owner (if Residence)	n/a
Notice of Intent (advertised for 60 days)	January 23, 2018 – March 25, 2018
Public Hearing & Committee of the Whole	April 17, 2018
1 st Reading	April 24, 2018
2 nd Reading	May 15, 2018
3 rd Reading	May 15, 2018

This schedule is tentative and for illustrative purposes only, it may change based on the Council schedule, agenda availability, and results of public consultation.

CONSIDERATIONS / DISCUSSION

An evaluation was conducted of the Moosehide Slide nomination package presented by Lee Whalen and Debbie Nagano on behalf of Tr'ondëk Hwëch'in. A summary of this

evaluation is as follows. For more details on what each ranking means, please see the Evaluation Criteria Located in Appendix D.

Landscape: Natural Landscape (Modified) – Excellent

Comments: The flume as an excellent example of late 19th century technology. The slide is also a geological landmark, with lots of interesting flora that is not often seen closer to downtown. The site is also subject to continuous use. Evidence of this use exists in the archaeological record.

Cultural Landscape: Excellent

Comments: Examples of relic status within the nominated boundary include archaeological remains and the oral traditions regarding the landscape. However, it is evolving in the sense that it is still used and there is ongoing physical and cultural change occurring.

Craftmanship: Very Good

Comments: Could not achieve excellent because it is not the only remaining representative of historic trail use in the area, nor of using physical landmarks as iconic wayfinding (thought it ranks very high). It is also ranked high in the sense that the slide was used as an advantage rather than a topographical hinderance. Other examples of iconic use of the natural landscape include Five Finger Rapids and the Yukon Ditch.

Aesthetic: Excellent

Comments: Moosehide Slide is a very dominant feature that is integral to Klondike identity. It is identifiable by many different cultures as a landmark.

Form and Design: Excellent

Comments: The site is an excellent example of successful use of landscape and design together.

Materials: Very Good

Comments: Some deterioration was noted.

Condition: Very Good

Comments: It was noted that excellent could not be given in this category, as the nature of the area is that it naturally deteriorates.

Site and Setting: Very Good

Comments: Trails as a continued use, and it is also beneficial that the trails are accessible to a modern audience. Additionally, the proposed boundaries are natural and visible,

rather than arbitrary. The alternative perspective regarding trails would be that trail users have the potential to have a negative impact on the natural environment.

Landmark: Excellent

Comments: Moosehide Slide is an iconic reference point within Yukon, and there is nothing of note in Whitehorse or another community that is comparable in scope as a symbolic landmark. The 'Landmark' category of the evaluation criteria asks to evaluate the nominated site based on whether it is an important visual or symbolic landmark that is widely recognized. This category was marked excellent, which means that HAC felt that the site is a "recognized and distinctive reference point that is famous within the Yukon". In order to make this assessment, the Heritage Advisory Committee attempted to brainstorm a site of similar magnitude in another place in Yukon, but did not feel that other sites were as significant of a landmark as Moosehide Slide.

Historical Theme: Excellent.

Comments: The Slide has strong connections to both Gold Rush and First Nation history of the region.

Association with Individual, Organization, or Group: Excellent

Comments: Associations include Chief Isaac using the Moosehide symbol, and the Acklen ditch as one of the first examples of hydraulic mining. The Moosehide Slide is unique in the sense that there is the lived experience of elders remembering the trail, rather than only stories.

Association with a Spiritual Event: Excellent

Comments: The Moosehide event is a significant event in TH culture. The slide is also a central component of the TH creation story. There is a strong oral history surrounding the slide, and it is unique in the sense that it is a consistent feature in many (almost all) Gold Rush accounts. The river is also unique in the sense that it passes through many FN territories.

Association with a Culture: Excellent

Comments: Captured above.

Reasons for Designation: The Moosehide Slide is a cultural landmark both in legend and in use. The Acklen Ditch is an example of late 19th century technology and is a site with strong archaeological potential. In the opinion of the Committee, this site very strongly meets YG's heritage designation criteria. Additionally, there is no sense of exclusion in the proposal, as it captures both TH and Gold Rush heritage, and intends to promote an inclusive identity and use.

Important Elements to be Preserved: It is important to maintain existing trails and lookouts, though the focus is on what is currently existing, not in expanding use or creating new trails. This is in accordance with traditional low-impact use.

There are no surveyed lots located within the nominated boundary, therefore land use conflicts will be minimal. The proposed use of the nominated site is compatible with the existing use of the site.

However, subsurface rights pose a potential concern. The nomination package identifies a quartz claim that overlays a significant portion of the nomination boundary. The uses identified within the nomination package are typically incompatible with hard rock mining. The nomination package does not contemplate any proposed mitigative measures that address the compatibility of heritage preservation and subsurface mineral rights within the nomination boundary.

However, as discussed below, the area is zoned P1: Parks and Natural Space. Therefore, a claim owner will likely be required to establish a legal non-conforming use to be eligible for a development permit to work the claims. As listed in the nomination package, the claim that overlaps the nominated boundary is owned by Diamond Tooth Resources Inc. (Grant #YF04391), and is active and in good standing until October 15, 2019. Before passing a By-Law, Council may wish to consider this concern, and to what extent the potential conflict should impact the designation of the nominated site. It is also worth noting that there is a possibility that this concern will be raised during the public consultation phase of this process. The Klondike Valley has a long history of mining coexisting with other land uses, and thus there is potential for mitigation. This is especially true considering the petitioners' focus on not only First Nation history, but also the industrial and mining historical and archaeological evidence within the nominated boundary.

The Heritage By-Law has specific provisions on how to manage concerns raised at the public hearing or in person to the CDO. If concerns are identified, Council has one of three options, as stated in the By-Law:

1. Resolve not to proceed further with the proposed designation;
2. Revoke the designation with respect to part of the site and pass it as amended; or
3. Submit the proposed by-law along with the objections to the Yukon Historic Resources Appeal Board and request the Appeal Board to hold a hearing in accordance with Section 42 of the Historic Resources Act.

Therefore, it is recommended that before proceeding with this designation, the petitioner should consider this potential conflict and suggest mitigative measures to the satisfaction of Council. Alternatively, Council could suggest mitigative measures to be included in the Designation By-Law.

Municipal Act

Heritage management and conservation is not a topic that is contemplated in the *Municipal Act*. However, the *Municipal Act* does contemplate the passing of by-laws, therefore S. 218 does apply: "*every bylaw shall have three distinct and separate readings before it is finally adopted, but no more than two readings may take place at any one*

meeting." The process outlined for Municipal Historic Site Designation, as listed above, complies with this clause.

Official Community Plan

Section 3.9 of the Official Community Plan contemplates Heritage Preservation. This proposal is in line with the identified long-term goal to "*protect and celebrate Dawson's heritage as a "living historical community" while at the same time allowing the community to evolve and prosper into the future*". This nomination provides an opportunity to implement this goal through several of the identified approaches, including the following bullets quoted from the OCP S. 3.9:

- "Collaborate with strategic partners such as Tr'ondëk Hwëch'in to recognize, celebrate and promote the full scope of Dawson's heritage; and
- Recognize, celebrate and promote the fact that Dawson's heritage extends beyond the Klondike Gold Rush era (1897-1918)"

The area within the nominated boundary is designated P: Parks and Natural Space, defined as areas "*to be used exclusively for developed parks, playgrounds, trails and undeveloped green spaces. This includes community parks, greenbelts, nature parks, neighbourhood parks and trails.*" This nomination helps preserve the intent of the OCP through protecting the natural space, trails, and cultural heritage resources that currently exist within the nominated boundary.

Zoning By-Law

The Zoning By-Law contemplates heritage management only in areas that are impacted by the Heritage Management Plan character areas. The nominated site is north of the character areas identified in the plan, therefore heritage management policies in the Zoning By-Law are not applicable.

The area within the nominated boundary is currently zoned P1: Parks and Natural Space. The proposed uses of the nominated area, including parks and greenspace, trails, and archaeological and cultural heritage preservation, all are permitted uses in this zone. Therefore, no re-zoning would be required in order to implement this designation.

Heritage Management Plan

The nominated boundary is not within the management area of the Heritage Management Plan. The North End character area extends to the "*end of the development up the north slope*". Since the boundary of the site was chosen specifically to avoid conflict with development on legally surveyed lots, the statements in the North

End character area do not apply, as the nominated site is north of the character area as depicted in the Heritage Management Plan. However, Moosehide Slide and natural elements of the slopes are considered to be character defining elements of the City of Dawson as a whole, given their prominence in the historic townsite.

Additionally, the nomination of Moosehide Slide does align with some of the broader heritage management objectives listed in the Introduction section of the Plan, including:

- *“Preserve and strengthen the visual character and design intent of a nationally and internationally significant cultural landscape;*
- *Conserve and interpret the full history of the cultural landscape – before, during, and after the Gold Rush; and*
- *Communicate that the Gold Rush was a short but highly significant era in the long course of natural and human history, and ensure that resources remain and stories are told from the other periods of history.”*

Heritage Resources Act

S. 37(1) of the *Historic Resources Act* gives municipal Councils the authority to designate by by-law a municipal historic site. Eligible sites are those which have significant historic significance as contemplated in S. 15(1) of the *Act*, as follows:

A site may be designated as a historic site when Council is satisfied that the site is, *“whether in itself or because of historic resources or human remains discovered or believed to be at the site, an important illustration of*

- a) the historic or pre-historic development of the Yukon or a specific locality in the Yukon, or of the peoples of the Yukon or locality and their respective cultures; or*
- b) the natural history of the Yukon or a specific locality in the Yukon,*

and has sufficient historic significance to be so designated.”

Therefore, before accepting the recommendation to forward this by-law for first reading, Council must consider this definition of historic significance and determine whether the Moosehide Slide nomination area, as described in the nomination package, meets this definition sufficiently to warrant designation.

IMPLICATIONS

General: This designation, should it pass successfully through the statutory public consultation and three readings of a by-law, is consistent with the heritage management

goals and implementation strategies currently in place through various policy instruments at the City of Dawson.

Financial: This designation is anticipated to be financially neutral for the City of Dawson. Under the current Fees and Charges By-Law, no fee was collected for the processing and analysis of this nomination package. Given that the nomination refers to the fact that the cultural resources located within the boundary are considered archaeological and have not been substantially altered in any way, the sites are considered stable and do not require monitoring or maintenance. The only instance in which the City of Dawson may be required to maintain parts of the site would be through the Trails Management Plan, which is intended to be implemented regardless of the outcome of this nomination.

Communication: The petitioners will be informed of the outcome of this nomination. The CDO will facilitate public consultation, and further analysis of any comments or concerns will be scheduled at a future Committee of the Whole Meeting prior to commencing three readings of the Designation By-Law.

OPTIONS

Council may consider one of the following options regarding this application:

1. Forward the designation to Council for first reading of a Designated Municipal Historic Site By-Law, as recommended.
2. Forward the designation to Council for first reading of a Designated Municipal Historic Site By-Law, with amendments to the site boundaries or the recommended conditions
3. Decline to forward the designation to Council.
4. Defer the decision until more information is available.

APPENDICES / SCHEDULES

Appendix A – Municipal Designation Nomination Form

Appendix B – Land Interests Map

Appendix C – Designation Boundary Map

Appendix D – Yukon Heritage Resources Board Evaluation Criteria

APPROVAL & CAO COMMENTS

Respectfully Submitted,



Clarissa Huffman, CDO

18/01/18

Date

I have reviewed and have no further comments regarding this report.

Christine Smith, A/CAO

Date



City of Dawson Municipal Designation Nomination Form

If you have any questions about this form, please contact the City of Dawson Development Officer at 993-7400.

Section 1: Identification

1. Name(s) of property:

2. Address or location:

3. Legal land description:

4. Owner contact information:

Name:

Address:

Phone: Fax:

Email:

Does the current owner support possible municipal designation of this property?

Yes No Owner signature:

Date:

Present tenant if different from owner:

Phone: Fax:

Email:

5. Nominator contact information:

Name:

Address:

Phone: Fax:

Email:

Section 2: Historical information

7. Date of construction: ~1700bp

8. History of ownership:

(List the property's original and subsequent owners)

9. List the past and current uses of the building or site:

See attached document.

10. Describe how the property relates to the community's past by identifying its associations with the builder and/or architect, people, events or historic uses:

See attached document.

11. Describe the significance of the building or site:

(Is it comparable to similar sites in terms of age, style, historical associations and/or use?)

See attached document.

Section 3: Description of buildings

(for cemeteries, landscapes, engineering features or historical objects, skip to section 4)

12. Describe the building's architectural details:

(Include a detailed description of the building, including siding, window type, roof type, decorative trim, number of storeys, etc. Also include a description of any unique design elements and quality of craftsmanship.)

N/A

13. Describe the building's physical condition:

(List any damage, repairs and/or alterations that have taken place. Please provide a date for significant alterations.)

N/A

14. Describe the building's setting and context:

(Has the site's setting changed over the years? Does it fit with the historic character of the neighbourhood? Include details on gardens, lawn, fences, trees or features, how the building is sited on the lot. Include any information on the building's recognition in the area as a landmark.)

N/A

Section 4: Description of other site types features

(cemetaries, landscapes, engineering features or historical objects)

15. Describe the site:

(Include a detailed description of the site and its physical features. Is the landscape formally designed or is it a natural landscape? Are natural resources (hills, streams, etc.) used in the design? Has it been modified over the years? Is there successful use of materials or built elements that assist in the historical function and/or design of the landscape and interact and/or complement the existing natural features?)

See attached document.

16. Describe the site's condition and use:

(List any damage, repairs and/or alterations that have taken place. Please provide a date for significant alterations.)

See attached document.

17. Describe the site's setting and context:

(Has the site's setting changed over the years? Does it fit with the historic character of the area? Include details on gardens, lawn, fences, trees or other features. Is the place a visual or symbolic landmark recognized in the area?)

See attached document.

Section 5: Supporting material

18. Photographs

- Attach recent images of the property including front, side and rear views.
- Attach any historic images of the property.

19. Land title

- Include a copy of current land title.

20. Other material

(Please note here any other reference material that you've come across in your research such as maps, persons, photos, deeds, etc.)

See attached document.

Please submit this form and accompanying attachments by mail to:

Heritage Advisory Committee
c/o City of Dawson
P.O. Box 308
Dawson City, Yukon
Y0B 1G0

Appendix 1: City of Dawson Municipal Designation – Moosehide Slide.

Section 2: Historical Information

9. List the past and current uses of the building or site.

- **Travel Route/Trail:** The historic Moosehide Trail crosses the Moosehide slide. The trail is recognized in Schedule C, Chapter 13 of the Tr'ondëk Hwëch'in Final Agreement. This overland trail serves as an important link between the communities of Moosehide and Dawson City, provides insight into the life experiences of many Tr'ondëk Hwëch'in elders, and is one of the few Tr'ondëk Hwëch'in traditional routes still used today. It is difficult to know how long the Moosehide Trail has been in existence, but we do know that it lies between two important Tr'ondëk Hwëch'in traditional sites – Moosehide and Tr'ochëk, both thousands of years old. It is likely that the trail existed for travel between Moosehide and Tr'ochëk, or overland travel to other regions. The trail across the slide is currently used as a trail to the Midnight Dome and connects to the Ninth Avenue Trail and to the trail network coming off the South side of the dome. These trails are documented in the City of Dawson Trails Management Plan.
- **Gold Rush Dwellings:** At the base of the slide there are relic remains of the hillside residences of the Klondike Gold Rush. A stone foundation, and tin midden, and a number of in situ artifacts speak to the settlement of Dawson City and the haste of which the town sprung up immediately following the discovery of gold. The transient occupation represented by the now archaeological remains tells the story of mining settlement patterns, the beginning of Dawson City, and the larger gold rush landscape which the community fits within.
- **Public Space** – The Moosehide Slide provides a backdrop to the North end green space which includes the City of Dawson's off-leash dog park. This area is currently used as a natural amphitheatre, hosting art installations and public events. It includes a trail loop which connects to the ninth avenue trail, and provides community park space with some of the most varied vegetation within the city limit. Viewpoints from the Moosehide trail provide vistas overlooking the City of Dawson, Tr'ochëk and the Yukon River.
- **Scientific Research:** Moosehide Slide has recently been the interest of several scientific investigations. Gradual ground movements at the site have been monitored since 2003 by Marc-Andre Brideau, originally with Simon Fraser University, in collaboration with YGS (Brideau et al. 2006, 2007, 2012). Research has also been conducted in the surrounding areas to document numerous landslides that were triggered by permafrost thaw following extensive forest fires that burned near Dawson City in 2004 (Lipovsky et al. 2006; Coates 2008).
- **Interpretation:** The Moosehide Slide is currently part of the interpretive programming at the Dänojà Zho Cultural Centre and the Story of Moosehide Slide as told by Mary McLeod is part of the programming provided to students of Robert Service School. The Moosehide slide also contributes to seasonal Parks Canada interpretation at the Klondike National Historic Site. Signage on the Ninth Avenue Trail further interprets the Moosehide Slide. Examples of interpretive publications include:

- An 8 paged colour storybook titled Moosehide Slide as told by Grandma Mary McLeod illustrated by Rob Ingram was created by Aboriginal Headstart coordinator/teacher Clara Van Bibber as part of a teaching kit for 3 and 4 year olds at the Trinke Zho daycare to introduce them to Han language and stories (2011.49.1).
 - An Artistic book created by Tr'ondëk Hwëch'in citizen Graham Everitt, titled "Legend of Moosehide Slide", that depicts his interpretation of the story of how the Moosehide Slide was created. The book was engraved on three pieces of home-tanned Moosehide (2013.57.1).
- **Mineral Interests:** there is a single quartz claim (ID#280497, Grant#YF04391) that overlaps the Moosehide Slide. This was staked in 2013 and is 100% held by Diamond Tooth Resources Inc. (Charlie Brown).

10. Describe how the property relates to the community's past by identifying its associations with the builder/or architect, people, events or history.

The Moosehide slide landscape feature weaves together a number of stories, making it historically and culturally relevant to the community of Dawson, and all Yukoners, for many reasons. The following summarizes the importance of the slide to the Tr'ondëk Hwëch'in, the newcomers that came to seek gold in the Klondike, and to the community of Dawson City today:

A Symbol of Home: For the Tr'ondëk Hwëch'in the Moosehide slide is a symbol of their home and a land that they have occupied since time immemorial. The Moosehide slide is part of the collective identity of the community and represents resilience of the Tr'ondëk Hwëch'in culture. Chief Isaac proudly displayed a drawing of the slide of Dawson on his drum because, as his great granddaughter explains "the symbol that is shaped like a moose are signs of the land set there for his people to live and to remember." Chief Isaac can be seen holding his drum in historical photos (see Dawson City Museum fond 990-77-12). The image has also become a symbol for the biennial Moosehide Gathering, an event that celebrates the strength and successes of the Tr'ondëk Hwëch'in.

For the Tr'ondëk Hwëch'in the Moosehide Slide is evidence that they have belonged to this land for thousands of years. It is a kind of land title document demonstrating a long and continued relationship with their homeland.

Name, Stories, & Songs: The story of the creation of the Moosehide slide is a "long-ago" story demonstrating Tr'ondëk Hwëch'in's entrenched and enduring relationship with their landscape. This story relates to other important stories which describes the creation of Tr'ondëk Hwëch'in's physical world in the Yukon, and further relates to other Athabascan stories both in the Yukon and Alaska. This story has been passed down through generations of family and continues to be taught and shared. The Moosehide Slide itself is the protagonist of this story and is important in keeping the story alive. The physical slide is part of the cultural landscape described by its creation story and further relates to other physical sites in the Tr'ondëk Hwëch'in traditional territory. The story as told by Mary McLeod is as follows:

“In early days there were cannibals everywhere and they bothered people. So one time people climb hill near where is now Moosehide to get above them. Lots of big trees on these hills that time. People had only axe made of sharp rock in those days.

They cut down the biggest tree with stone axe and they throw that tree down the hill on cannibals. That tree start big slide. It kill all the cannibals. That slide is shaped like hide of moose so people call the place Moosehide.”

– Mary McLeod, Tr’ondëk Hwëch’in Elder, 1974

Moosehide is a named place, or toponym, within the Tr’ondëk Hwëch’in cultural landscape. It is referred to as *Ēdhä dädhëchq* in the Hän language, literally meaning ‘skin hanging up’, and is so named because it resembles a large moose skin stretched out to dry. Assigning a place name to a land feature indicates its cultural importance and is reflective of its value to a community as well as its relationship within to the larger landscape and the components within the landscape.

A Mark On the Land: For many of the thousands of adventurers and fortune seekers facing the rigors of the trail to dig for gold along creeks feeding the Klondike River, the Moosehide Slide would have been their first visual connection to the town site of Dawson City. Similarly, for the Tr’ondëk Hwëch’in the Moosehide slide is a navigational landmark within their cultural landscape that is identified with the confluence of the Klondike and Yukon Rivers, the moose flats and traditional hunting grounds, now site of Dawson City, and the adjacent fish camp of Tr’ochëk, located across the river from the town site of Dawson City. The Moosehide slide can be seen several kilometers up river from Dawson City and as a prominent landmark has been part of human the experience of the region since its creation. For the Tr’ondëk Hwëch’in it signified the arrival to their fishing grounds and a coming together of families following winter travels; for gold seekers it signified their arrival into the Klondike; and today it signifies a connection to place for all residents of the region. Moosehide Slide is synonymous with the image of Dawson City and is integral and intertwined with its identity.

The Trail Over the Top: The historic Moosehide Trail crosses the slide. This route is recognized in Schedule C, Chapter 13 of the Tr’ondëk Hwëch’in Final Agreement. The Moosehide Trail is the shortest of the heritage routes mentioned in the Tr’ondëk Hwëch’in Final Agreement; and yet the trail serves as an important link between the communities of Moosehide and Dawson City, it provides insight into the life experiences of many Tr’ondëk Hwëch’in elders, and it is one of the few Tr’ondëk Hwëch’in traditional routes still used today. It is difficult to know how long the Moosehide Trail has been in existence, but we do know that it lies between two important Tr’ondëk Hwëch’in traditional sites – Moosehide and Tr’ochëk. It is likely that the trail existed for travel between Moosehide and Tr’ochëk, or overland travel to other regions.

Mining in the Klondike with Moosehide water: Sometime after 1898 J.A Acklen discovered gold on his property while digging an irrigation ditch to divert water from a nearby creek for his farm land on high ground, on the right limit of Klondike River, near the mouth of Bonanza Creek. He washed out some gravel for a few seasons, but recognized that he would need a better water source in order to make his high ground pay. Determined to dig more from his land than carrots and potatoes, Acklen walked

northeast from his property in search of a stream running at sufficient elevation to divert down to the Acklen farm. He soon found Moosehide Creek, a tributary of the Yukon, and quietly petitioned the Canadian Government for water rights, and for the right to construct a ditch and flume. By 1905 Acklen had secured water grants for Moosehide Creek and the Twelve Mile River, conditional on the construction of flumes and ditches by 1907.

Acklen was one of the first individuals to envisage the potential for hydraulic mining in the Klondike. His vision was to divert water from the Twelve Mile and Moosehide to a reservoir on his property 250 feet above the Klondike River. From there the water could be siphoned across the Klondike and up Bonanza Creek with a pressure sufficient for hydraulic mining and sluicing on water-poor bench claims.

Many believed that the Klondike was not ready or suitable for hydraulic mining, but Acklen was convinced. He sought interviews with Guggenheim agent, A.N.C. Treadgold, who was in the area looking for business opportunities. A deal was made, and Acklen sold his water-rights, titles and privileges to the Guggenheims for \$400 000. The Acklen Ditch was eventually completed with Guggenheim capital, carrying water from Moosehide Creek, across the Moosehide Slide, and eventually into the Klondike Valley, where hydraulic tailings are still visible from the Klondike Highway today.

(<http://www.dawsonmuseum.ca/archives/fonds-descriptions/?id=19>)

Remnants of the ditch are still visible along the length of the Moosehide Slide where it crossed. Scattered timbers and remnants ditch bed provide evidence of some of the earliest hydraulic mining in the Klondike. The Acklen Ditch & Reservoir, Acklen Flume, and Acklen Hydraulic Mine are all inventoried in the YHSI (116B/03/566-568)

The settlement of Dawson City: At the base of the slide we see relic remains of the hillside residences of the Klondike Gold Rush. A stone foundation, and tin midden, and a number of in situ artifacts speak to the settlement of Dawson City and the haste of which the town sprung up immediately following the discovery of gold. The transient occupation represented by the now archaeological remains tells the story of mining settlement patterns, the beginning of Dawson City, and the larger gold rush landscape which the community fits within.

A Place of Healing: Today the base of the Moosehide landslide, recontoured and covered by vegetation, has become a space of public use and recreation. A healthy place to take a hike, harvest plants, walk your dog, or to take in the spectacular vistas, this North End green space provides access to the 9th avenue trail, and is an important community use area.

11. Describe the significance of the building or site: (Is it comparable to similar sites in term of age, style, historical associations and/or use?)

The Moosehide Slide is one of the most iconic and well-known landslides in Canada. It is a significant character defining element of Dawson City, made world renowned by the famous twentieth century Klondike Gold Rush. The slide has strong associations with the Indigenous people of the region, the Tr'ondëk Hwëch'in, and the Gold Rush, both which have greatly shaped the course of Yukon history.

Within the community of Dawson City, the Slide is part of the community identity, and for many, a source of pride and belonging. It is symbolic of Dawson City as home, but also as a destination for gold seekers, adventurers, researchers & scientists, and today a world class tourism industry. Moosehide Slide is emblematic of Tr'ondëk Hwëch'in cultural resurgence, relationship with the land, and strength.

The Moosehide Slide is a significant landmark not only in the community, but within all of Yukon.

Section 4: Description of other site type features

15. Describe the Site:

(Include a detailed description of the site and its physical features. Is the landscape formally designed or is it a natural landscape? Are natural resources (hills, streams, etc.) used in the design? Has it been modified over the years? Is there successful use of materials or built elements that assist in the historical function and/or design of the landscape and interact and/or complement the existing natural features?)

Stretching across the mountain face at the north end of Dawson City, Moosehide Slide is a natural landslide that, according to geologists, occurred in prehistoric times. Approximately 300 metres across and 100 metres high, the gravel grey scar exposes the serpentine rock and asbestos that occur in the area. A large jumble of boulders and rock remains at the base of the slide, giving way to a small flat plateau that serves as a space for public events and local green space.

The slide is generally south facing and is part of the 'bowl' character area surrounding the Dawson town site. The nominated site includes the slide face, approximately 300 m wide and 100 m high, and the 80m talus apron discharging down the hill. The nominated site is bound on the west by the Yukon River bluffs and to the east by a sparsely vegetated knoll corresponding with the furthest extent of slide activity. The upper extent of the site borders the crest of the hilltop while the lower extent boards the green space at the base of the slide. The site avoids all surveyed land, and follows the Municipal boundary along its eastern extent. It also avoids a Highways and Public Works land disposition on the western extent. See *Moosehide Slide Municipal Designation Map*.

The trail, the Acklen ditch, stone foundations, tin midden, and in situ artifacts are all physical indicators of the cultural landscape and are included as part of the site.

16. Describe the site's condition and use:

(List any damage, repairs and/or alterations that have taken place. Please provide a date for significant alterations.)

Condition: The site is in good condition. The slide has maintained generally the same shape and size since it was first documented at the end of the 19th century, evident in historic photographs of the area. Comparisons between Gold Rush era and contemporary images of the slide show that very little physical movement has occurred over the past 120 years. The appearance of the slide that inspired the image Chief Isaac proudly displayed on his drum, is arguably the same appearance we look upon today. The

size, shape, location, and composition of the slide and its immediate surrounding are intact and retain their full integrity. The relationship of the slide to its wider surroundings, including the larger Tr'ondëk Hwëch'in cultural landscape, and its continued use as a navigational landmark, has been retained, further contributing to its integrity. The site has not been significantly altered in any way. The cultural sites within the boundary are relic, and considered archaeological. The sites were briefly studied and documented by Michael Brand over 2 field seasons in the late 1990's (Brand, 2003). They are documented within the Yukon Archaeological Sites Inventory. The sites themselves are stable, have been well documented, and include enough material to reflect their importance within the cultural landscape.

The Moosehide Trail across the slide is in good condition. Though the route has shifted slightly across the slide face as a result of periodic rock movement, the linearity and connectivity of the route as a whole has been maintained. The footpath can be seen throughout the rocks on the slide. The entry and exit points of the trail onto and off of the slide remain true to the historic trail and general the route follows the historic path.

Current Use: The site is used as a natural amphitheatre and provides a backdrop to the North end green space which includes the City of Dawson's off-leash dog park. The Moosehide Trail, and a loop trail connecting from the North End to the Ninth Avenue Trail provide excellent hiking opportunities for the community. This area has some of the most varied vegetation within the city limits and is used for harvest of cranberries, blueberries, willow, and other plants species. The Slide continues to be a navigational marker for river travellers, anchoring Dawson City with this iconic landscape.

17. Describe the site's setting and context:

(Has the site's setting changed over the years? Does it fit with the historic character of the area? Include details on gardens, lawn, fences, trees or other features. Is the place a visual or symbolic landmark recognized in the area?)

The site is located in the North End of Dawson within the Valley, Confluence and Bowl Heritage Management Area. The Dawson City Heritage Management Plan includes the rivers, the mountains, the slide, the trees, the flats as significant components of the management area which combine to make up the natural landscape that surrounded Dawson and Tr'ochëk, which have been the setting for the inhabitants of the area over time. The Moosehide Slide, the treed mountains, rocky outcrops, and steeply sloping mountainsides with the flat land of the Dawson City townsite at the bottom are all character defining element demonstrated by the proposed designation.

The slide has maintained generally the same shape and size since it was first documented at the end of the 19th century, evident in historic photographs of the area. Comparisons between Gold Rush era and contemporary images of the slide show that very little physical movement has occurred over the past 120years. The appearance of the slide that inspired the image Chief Isaac proudly displayed on his drum, is arguably the same appearance we look upon today. The size, shape, location, and composition of the slide and its immediate surrounding are intact and retain their full integrity.

The Moosehide Slide is a significant character defining element of Dawson City. As a visual landmark it situates Dawson city within its physical and cultural context. The slide immediately identifies Dawson City. It is symbolic of a shared physical space and cultural reality.

Section 5: Supporting Materials

18. Photographs



Figure 1: Approximation of the perimeter of the proposed Moosehide Slide Municipal Heritage Site (TH Heritage)



Figure 2. Moosehide Slide interpretive panel located along the walking trail on the upper dyke along the riverside in Dawson City. (TH Heritage Department)



Figure 3. Sign installed by the Tr'öndek Hwëch'in Lands Department (TH Heritage Department)

Glenbow Archives NA-513-1



Figure 4. Historic Photo of the Moosehide Slide from the west bank of the Yukon River. The Aklen Flume is visible across the face of the slide (Glenbow Archives NA-513-1).



Figure 5. Historic photo, View looking north down Third Avenue with Moosehide Slide in the background. 1936 (Yukon Archives, Louis Irvine Fond)



Figure 6. A view of the Yukon River taken from Moosehide Trail near Dawson. Ca. 1920's. (Yukon Archives, Claude and Mary Tidd Fonds)



Figure 7. Dawson from the Moosehide trail Sept. 1924 (Yukon Archives, Claude and Mary Tidd fonds).



Figure 8: Historic Image of Moosehide Slide (TH Collection, 2004.5.0785)



Figure 9: A large skin drum with a moose motif painted on it. It is a reproduction of what is often referred to as the Chief Isaac drum. (TH Collection, 2009.11.001)

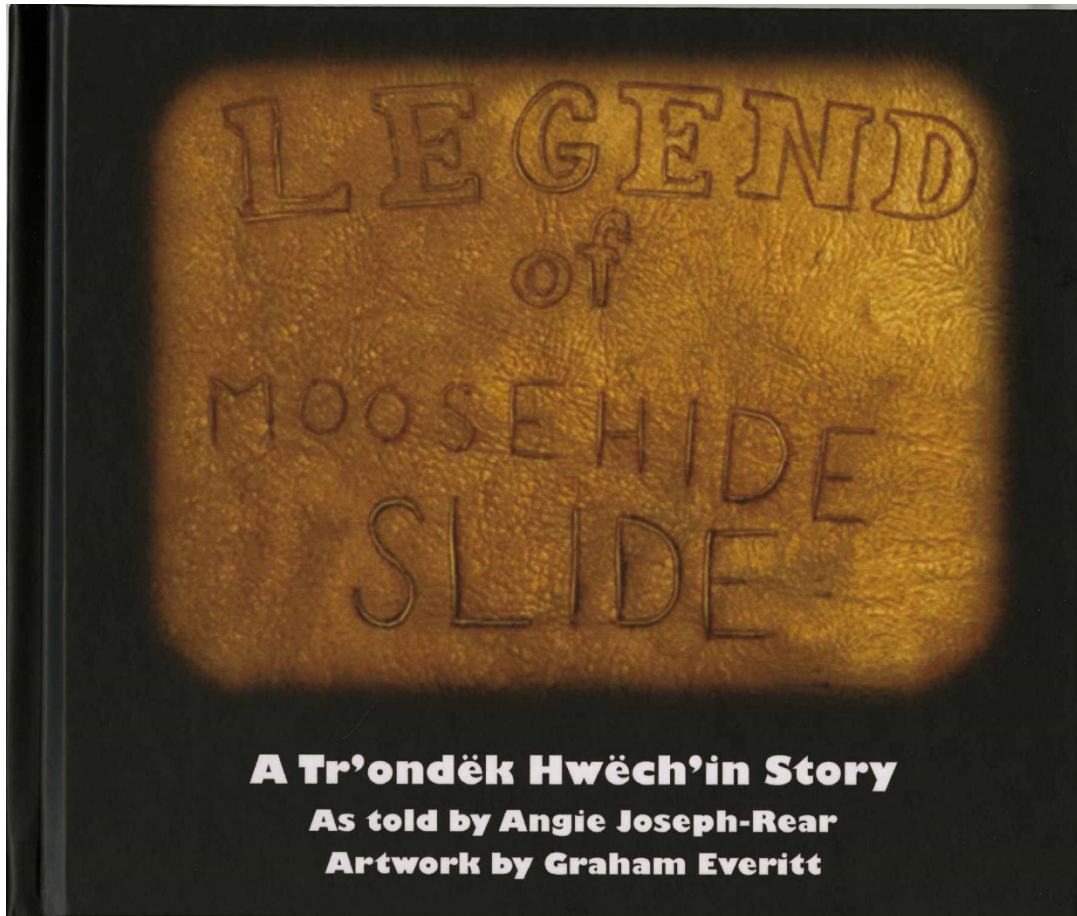


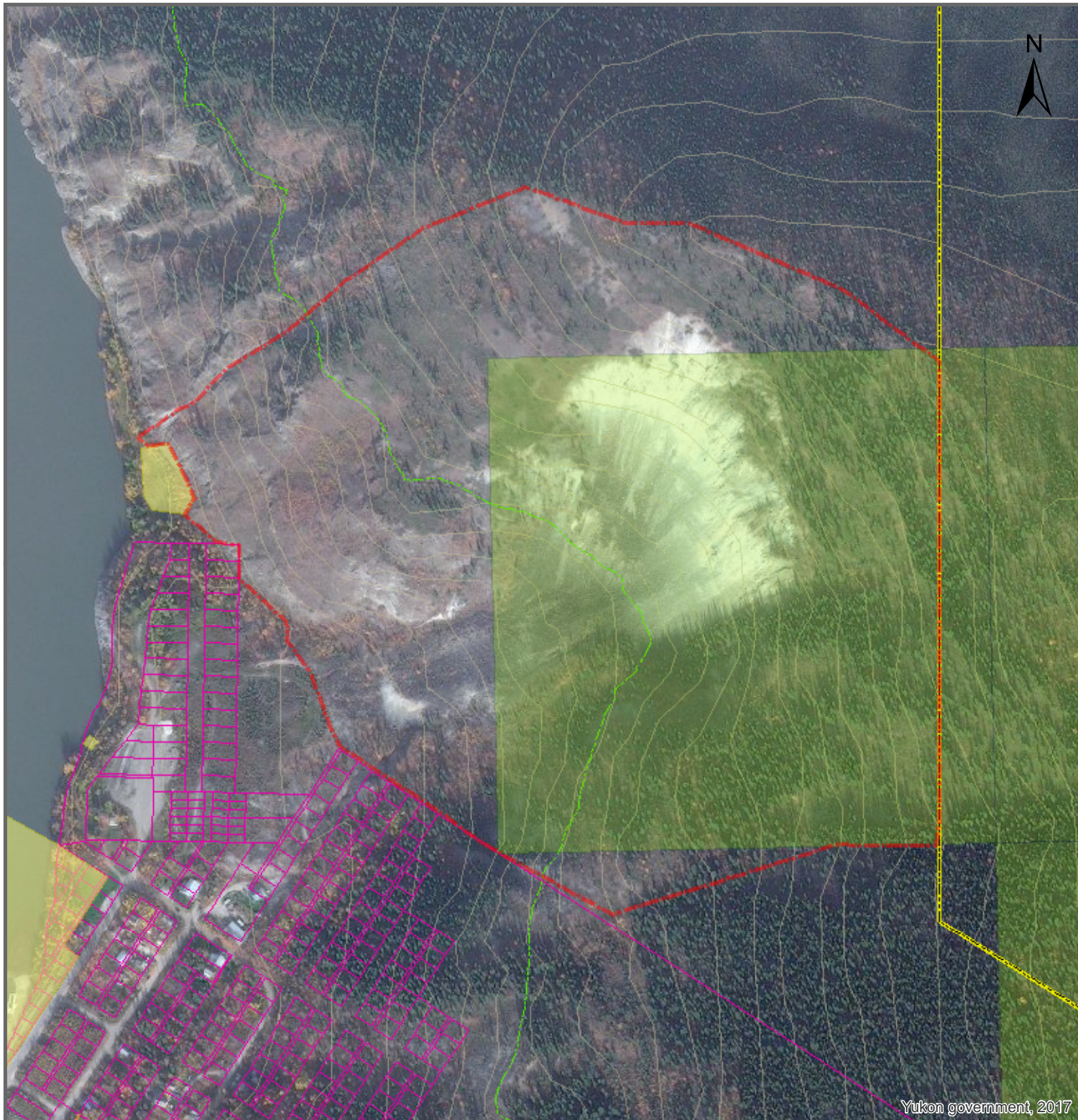
Figure 10: Legend of Moosehide Slide, A Tr'ondëk Hwëch'in Story As told by Angie Joseph-Rear. Artwork by Graham Everett (TH Collection, 2013.83.5)

19. Land Title







- N/A: the site is located on unsurveyed commissioner's land.

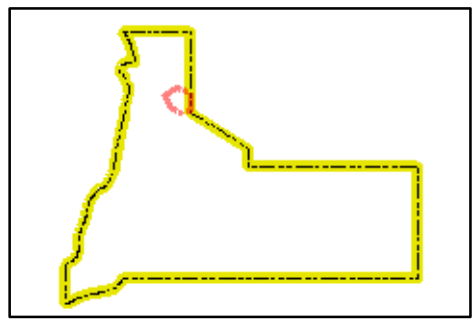
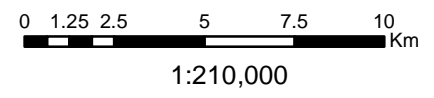
20. Other Material

- 1) Moosehide Slide Municipal Designation Map.
- 2) Moosehide Slide Land Interests Map.

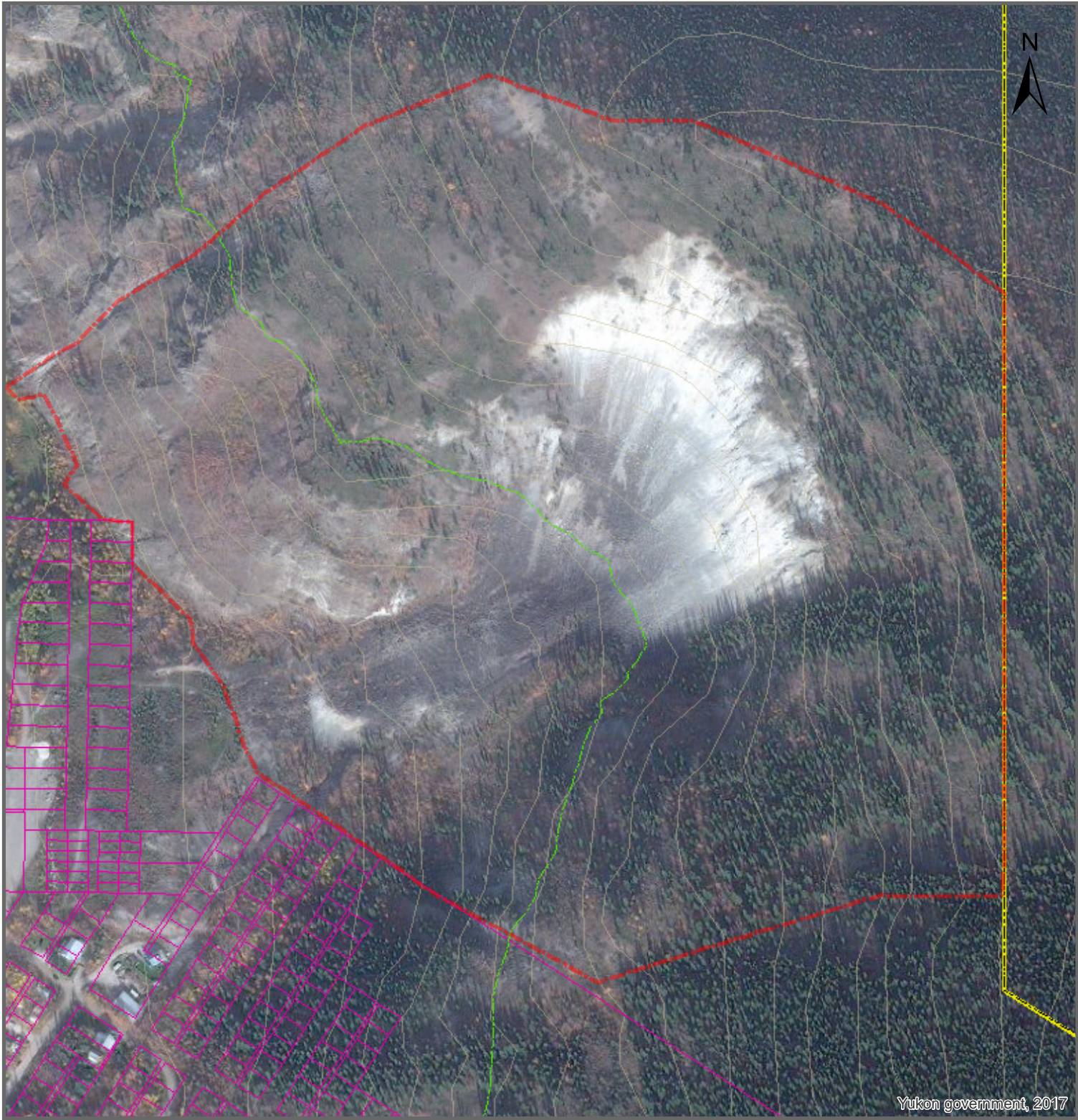


Moosehide Slide Municipal Designation: Land Interests

-  Moosehide Slide Nominated Boundary
-  Dawson City Municipality
-  Land Dispositions
-  Active Quartz Claims
-  Moosehide Trail
-  Surveyed Lands

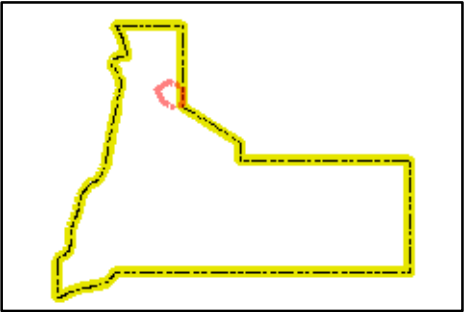
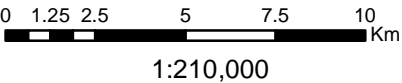


Coordinate Sytem: NAD 1983 UTM Zone 7N
Projection: Traverse Mercator
Datum: North American 1983
Units: Meter



Moosehide Slide Municipal Designation

-  Moosehide Slide Nominated Boundary
-  Dawson City Municipality
-  Surveyed Lands
-  Moosehide Trail



Coordinate Sytem: NAD 1983 UTM Zone 7N
Projection: Traverse Mercator
Datum: North American 1983
Units: Meter

Landscape Sites

General Definitions Defining Criteria Categories and Values

Every category may not apply to each site; this should not be considered detrimental to the overall evaluation. The evaluation process is a cumulative method, not subtractive. A poor rating in one category will not necessarily counter a high rating in another. Weighting of categories will be unique to the individual sites as some categories may be more important to or definitive of a site's heritage values.

1. Physical Site Characteristics

Age

Different types of landscapes will have differing criteria for this category.

Designed Landscape

This type of landscape has been intentionally modified by humans. Examples might include formally planted grounds with introduced shrubs, flowering gardens and paths, an historic highway, or an historic park with trails, camping and picnic areas.

Excellent: The oldest site of its type in the Yukon.

Very Good: One of few (less than five) examples of its type and age in the Yukon or the oldest site of its type and age in a region.

Good: One of a small number (five to ten) of examples of its type and age in the Yukon or one of a few of its type and age of a region.

Poor: One of many of the same type and age with no evidence of historic use.

Natural Landscape - Modified

This type of landscape might be a traditional route or trail, an ancient hunting lookout or fish camp. These sites may still be used today and have undergone minor changes through use.

Excellent: Landscape that has tangible or intangible evidence of pre-historic or historic use over several generations and has maintained its historic character.

Very Good: Landscape has tangible or intangible evidence of long standing pre-historic or historic use for a few generations and has maintained its historic character.

Good: Landscape has tangible or intangible evidence of pre-historic or historic use from one time period and has maintained its historic character.

Poor: Landscape has no evidence of historic use.

Natural Landscape - Unmodified

This type of landscape might be a spiritual site that has not been impacted by any human use, but has an ongoing significance through myth and legend to a cultural group or community.

Excellent: Landscape that has intangible evidence of cultural value over several generations, has maintained its natural state, and is a defining component to one or more cultural groups or communities.

Very Good: Landscape has intangible evidence of long standing cultural value for a few generations, has maintained its natural state, and is important to a cultural group or community.

Good: Landscape has intangible evidence of cultural value from one time period and is important to a cultural group or community.

Poor: Landscape has no cultural value.

Composition

- **Type**

Relic: No longer used, static, left to deteriorate. Some examples of relic landscapes may be caribou fences no longer used, gardens or farms abandoned with clearings evident, but original plantings no longer visible.

Evolving: Continues to change through use over time, and changes are incorporated into the landscape. An evolving landscape may be a traditional route or trail, a mining creek actively mined or an historic fish camp.

Cultural (Associative) Landscape: May be evolving or relic, and may be defined by the cultural values that are integrated with the natural resources. A cultural landscape may have little or no material remains. It is a geographic area that manifests an historic relationship between people and the land. This may be an area where the natural environment has been modified through human design and activity or traditional use, or it may be unaltered by people but has a significant, longstanding meaning to a culture. It is a dynamic, living entity that may evidence complex interactions between species and evolve over time.

Excellent: An outstanding example where the material remains and/or site and setting clearly demonstrate the site type. The site is valued by one or more cultural groups or communities or is a defining component integral to a cultural group or community.

Very Good: Material remains and/or site and setting reflect the site type. The site is valued by a cultural group or community or is a defining component to a cultural group or community.

Good: Material remains and/or site and setting suggest the site type. The site is known by a group or community.

Poor: Cannot determine the site type. Site is not known or recognized by any group or community.

- **Craftsmanship**

What is the quality of the design or construction of the landscape? Are there effective circulation patterns, use of natural resources or topographic features? If there are built features, are they interrelated well with the natural features?

Excellent: Only remaining representative that clearly illustrates effective use of materials combined with outstanding skill in construction.

Very Good: One of a few remaining representatives that illustrates an effective use of materials and skills.

Good: One of many representatives of common quality.

Poor: Poorly crafted.

Integrity of Site

Integrity is the site's historic character as shown by the survival of elements from the historic or pre-historic period. Is there a continuation of cultural traditions and practices at the site? Do the community and visitors continue to appreciate and respect the values that the landscape historically represents?

- **Aesthetic Attributes**

The intangible qualities of the site such as aesthetic value created by sounds, smells, or patterns of light and shadow, vegetation, waterways, topographic features, views or vistas that are integral to the landscape's unique historic character.

Excellent: An outstanding example of a landscape that has aesthetic qualities that clearly demonstrate and are integral to the site's historic character.

Very Good: A landscape that is aesthetically pleasing and its historic character can be seen.

Good: A landscape that is aesthetically pleasing but has been slightly modified, impacting its historic characteristics.

Poor: A landscape that has been greatly modified, has no discernable historic character, or that has no particular aesthetic qualities.

- **Form and Design**

The composition and the integration of natural resources in their original state with built elements are elements of design that may be considered in this category. The successful function of the landscape may reflect the success of the design.

Excellent: An outstanding landscape clearly showing elements of form and design in their historical context, with evidence of successful function or enduring meaning indicated through prolonged use or traditional memory.

Very Good: A landscape with elements of form and design in their historical context, and some evidence of successful function or enduring meaning indicated through use or traditional memory.

Good: A landscape with some elements of form and design apparent, and little evidence of successful function or enduring meaning indicated through use or traditional memory.

Poor: A landscape without any remaining elements of form and design, and no evidence of successful function or enduring meaning indicated through use or traditional memory.

- **Materials**

Successful use of materials or built elements that assist in the historical function and/or design of the landscape and interact and/or compliment the existing natural features.

Excellent: An outstanding landscape with intact historic materials and features clearly showing the function, design, and interaction of natural and built features.

Very Good: A landscape with mostly intact historic materials and features clearly showing the function, design, and interaction of natural and built features.

Good: A landscape with some historic materials and features that show the function, or design, or the interaction of natural and built features.

Poor: A landscape with little or no historic materials, and the function, design, and interaction of natural and built features is not discernable.

- **Condition**

What is the physical condition of the natural features and/or the historic elements of the site?

Excellent: In outstanding condition with historical elements of design and function obvious or the natural elements are in an untouched state.

Very Good: Has most of the historical elements of its design and function is obvious and the natural elements are intact.

Good: Some of the historical elements of its design and function can be seen and natural elements are somewhat changed.

Poor: Historical elements are gone or natural elements are gone.

Environment

- **Site and Setting**

The area where the site is situated. A fish camp may be the site, and the setting would include the riverbank, lake shore, and surrounding area. Does the setting support the site and help retain its historic character?

Excellent: Site has its original context and has not been negatively impacted by outside influences. Continued traditional use would not be considered a negative impact if the historical setting is obvious. Contributes and compliments the historic character of the area.

Very Good: Context has remained relatively unchanged and historical setting is still evident. Fits in with the character of the area.

Good: Site has been impacted but remnants of the original context remains, the historical setting can be detected.

Poor: No resemblance to its historical context. Detracts from the area.

- **Landmark**

An important visual or symbolic landmark that is widely recognized.

Excellent: Recognized and distinctive reference point that is famous within the Yukon.

Very Good: Recognized reference point within its region.

Good: Recognized referenced point within the area.

Poor: Not recognized or known.

2. Historical, Scientific and/or Cultural Relevance

- **Historical theme of the site (see listing in nomination guide)**

Reflects or illustrates an aspect of cultural, social, political, military or economic history.

Excellent: Illustrates a pattern or patterns of historical use or activity that is closely connected with an important period of Yukon history.

Very Good: Illustrates a pattern or patterns of historical use or activity loosely connected with an important period of Yukon history.

Good: Illustrates a pattern or patterns of historical use or activity not associated with an important period of Yukon history.

Poor: Site is not representative of any particular use or period of Yukon history.

- **Association with Individual, Organization or Group**

Associated with a cultural tradition, or the life or activities of a person, group or organization that has made a significant impact or contribution to the history of the community, territory, or nation.

Excellent: Closely connected with a person, group or organization that has made a significant contribution to the history of the community, territory or nation.

Very Good: Loosely connected with a person, group or organization that has made a significant contribution to the history of the community, territory or nation.

Good: Loosely connected with a person, group or organization that has played a minor role in the history of the community, territory or nation.

Poor: No association with anyone of note.

- **Association with an Historical, Cultural, or Spiritual Event**

Associated with an historical, cultural, or spiritual event that has made a significant impact or contribution to the history of a cultural group, a community or the territory.

Excellent: Closely associated with an important event in the history of a Yukon cultural group, a Yukon community, the Yukon Territory or Canada.

Very Good: Closely associated with an event that has contributed to the formation of a Yukon cultural group, a Yukon community or the Yukon territory.

Good: Loosely associated with an event that has contributed to the formation of a Yukon cultural group or a Yukon community.

Poor: No connection or association with any event.

- **Association with a Culture**

A landscape that has a significant longstanding meaning to a culture demonstrated through spiritual, legendary or mythological accounts that have been passed on by generations.

Excellent: Closely associated and integral to a well known Yukon cultural group or community evidenced by ongoing use or through traditional memory that has been passed on by generations.

Very Good: Closely associated with a well known Yukon cultural group or community evidenced by long term use or through traditional memory passed on by generations.

Good: Loosely associated with a Yukon cultural group or community evidenced by some use.

Poor: No association with a Yukon cultural group or community.

3. Reasons for Designation

Using the Statement of Significance and this evaluation, list the reasons for designation or reasons for not recommending site for designation.

4. Important Elements to be Preserved

List the elements of the site that should be preserved or protected under designation. Use the Statement of Significance and the results from this evaluation.



THE CITY OF DAWSON

Request for Decision

TO: Mayor and Council
FROM: Clarissa Huffman, CDO
DATE: 16 January, 2018
SUBJECT: Consolidation of Lots 1,2,9, and 10, Block 1, Day's Addition

RECOMMENDATION

It is respectfully recommended that:

1. Council approve the consolidation request, subject to the following conditions:
 - 1.1. The applicant submits a plan of subdivision completed by a certified lands surveyor drawn in conformity with the approval.
 - 1.2. The applicant shall, on approval of the subdivision plan by the City of Dawson, take all necessary steps to enable the registrar under the Land Titles Act to register the plan of subdivision.

PURPOSE

To resolve outstanding discrepancies relating to a consolidation application. The applicant wishes to consolidate her property in order to resolve outstanding zoning issues and historic encroachment.

BACKGROUND

The applicant purchased a portion of the alley located at Block 1 Day's Addition in 2015 in order to facilitate the consolidation of Lots 1, 2, 9, and 10 of Block 1 Day's Addition. The intent behind this purchase was to resolve the outstanding issue that a historic dwelling was located in such a way that the dwelling crossed the property lines of all four identified lots. However, an application for consolidation was never filed or presented to Council.

A survey conducted in June 2017 shows that in addition to the dwelling's situation partially on four different properties, all owned by the applicant, the dwelling also encroaches into the Front Street Right-of-Way. The applicant approached Yukon Government to purchase a portion of the Right-of-Way in order to consolidate it with the lots in question to alleviate the encroachment. This request was denied, and the applicant was instead directed to apply for a License of Occupation. A prerequisite of License of Occupation is confirmation from the City of Dawson that the property and associated structures meets zoning, or would be considered to meet zoning once the Licence was approved.

However, for this application, due to the siting of the dwelling on four separate properties, the property in question does not meet zoning. Therefore a consolidation must be approved prior to the licence of occupation.

On May 19, 2017, the CDO at the time issued a letter to Lamerton Land Surveys stating that the consolidation was approved. However, no Council resolution confirming this approval could be located in the Council minutes. Therefore, it is possible that this approval may have happened informally, or the approval letter was issued in error. In order to protect the interests of the City of Dawson and the applicant, staff determined that the appropriate course of action would be to formally request a decision on this application.

CURRENT STATUS

The applicant has applied for a Licence of Occupation through YG, which cannot be approved until all outstanding zoning-related issues have been resolved.

CONSIDERATIONS / DISCUSSION

Subdivision By-Law

Subdivision Control By-Law S3.01 states that every subdivision of land must be made in accordance with the Municipal Act, the Official Community Plan, the Zoning Bylaw, and the Subdivision Control Bylaw. The Considerations/Discussion section of this report is intended to discuss the proposal's conformity with the provisions outlined in the relevant legislation, policies, and plans.

Municipal Act

The Municipal Act S. 314 details the requirements for any proposed plan of subdivision to have direct access to the highway to the satisfaction of the approving authority. The property has street access on Craig Street, therefore meeting the requirements of S. 314.

S. 319 stipulates that an approval may be valid for a period of up to twelve months. If the applicant has not provided proof that the conditions of approval have been met, under the Act approval is void. The applicant can request an extension of a further twelve months, which may be granted in whole or in part, at the discretion of the approval authority.

Official Community Plan

The property is currently designated as UR – Urban Residential. Uses associated with this designation include serviced low-medium density single detached dwellings. Therefore, the proposed consolidated lot would retain the same designation. Any new use or

development on the proposed lots would be required to conform to the OCP designation, or else apply for an OCP Amendment.

Zoning By-Law

The property is currently zoned R1 – Single Detached Residential. The Zoning By-Law is intended to implement the goals of the OCP. Therefore, the purpose of the R1 zone as per the Zoning By-Law is to permit a range of low-medium density single-detached or duplex dwellings on serviced municipal lots. A full range of permitted uses and associated provisions are contained in the Zoning By-Law, and any future development of the proposed lots must also conform with the Zoning By-Law. This proposal would create one consolidated lot with a single-detached dwelling.

OPTIONS

Council may consider one of the following options regarding this application:

1. Approve the application as recommended above.
2. Approve the application with modifications to the conditions.
3. Refuse the application.
4. Defer the application for decision at a later date.

APPENDICES / SCHEDULES

Appendix A. Memorandum of Understanding for Purchase of Alley

Appendix B. Letter of Approval for Consolidation

Appendix C. Draft Survey of Consolidation

Appendix D. Applicant Letter Requesting Zoning Check Re: Licence of Occupation

Appendix E. CDO Response to Zoning Check Re: Licence of Occupation

APPROVAL & CAO COMMENTS

Respectfully Submitted,

Clarissa Huffman, CDO

Date

I have reviewed and have no further comments regarding this report.

Christine Smith, A/CAO

Date



THE CITY OF DAWSON

P.O BOX 308, DAWSON CITY, YUKON Y0B 1G0
PH: (867) 993-7400, FAX: (867) 993-7434



MEMORANDUM OF UNDERSTANDING BETWEEN

The City of Dawson

(the "Vendor")

- and -

Shirley J. Pennell
(the "Purchaser")

WHEREAS

- A. The Vendor is the owner of a 10' by 100' section of alley right-of-way lying between the lots legally described as: lots 9 & 10, block 1, Day's Addition, Plan 8338A to the northeast and lots 1 and 2, block 1, Day's Addition, Plan 8338A to the southwest.

("the Property")

- B. The Vendor has agreed to sell and the Purchaser has agreed to purchase the property.

IN CONSIDERATION OF the premises, and the covenants and agreements hereinafter set forth, the parties hereto agree as follows:

1. SALE AND PURCHASE

- 1.1 The Vendor hereby agrees to sell and the Purchaser hereby agrees to purchase the Property for the price and on the terms and conditions herein contained.

2. PURCHASE PRICE

- 2.1 The purchase price shall be the sum of four thousand, five hundred and fifty dollars (\$4,550.00) Dollars (the "Purchase Price") plus 5% GST for a total of \$4,777.50. Payment is due in full upon the signing of this agreement.

3. DUTIES OF THE VENDOR

- 3.1 The vendor will commission and cause to be registered a survey of the land to be sold prior to September, 2015.
- 3.2 Upon registration of the aforementioned survey with the Land Titles Office of the Yukon

DAWSON CITY — HEART OF THE KLONDIKE



THE CITY OF DAWSON

P.O BOX 308, DAWSON CITY, YUKON Y0B 1G0
PH: (867) 993-7400, FAX: (867) 993-7434



Territory, the Vendor will prepare an agreement for sale to be signed in a timely manner by the Vendor and the Purchaser.

4. POSSESSION

4.1 The Purchaser is to have vacant possession of the Property at 2:00 p.m. on the date of the signing of the agreement for sale by both parties.

5. ADJUSTMENTS

5.1 The Purchaser shall be responsible for taxes and insurance from and after the Possession Date.

6. COSTS


6.1 Each party shall pay their own legal fees. The Purchaser shall pay all fees in connection with the registration of the Transfer of Land and any mortgages.

7. NO ENCUMBRANCES

7.1 The Property shall be transferred by the Vendor free and clear of all encumbrances except restrictive covenants, reservations and exceptions in the original grant from the Crown, easements in favour of utilities and public authorities, and pre-existing structures.

8. RISK

8.1 Improvements on the Property completed prior to the Possession date by the Purchaser and all improvements on the Property after the Possession date remain at the risk of the Purchaser.

) CITY OF DAWSON
) By:
) 
) _____
) Wayne Potoroka, Mayor
)
)
) _____
) Jeff Renaud, CAO



THE CITY OF DAWSON

P.O. BOX 308, DAWSON CITY, YUKON Y0B 1G0
PH: (867) 993-7400, FAX: (867) 993-7434



SIGNED in the presence of:

Sam Davidson
Witness

)
)
)
)
)

Shirley J. Fennell
Shirley J. Fennell



THE CITY OF DAWSON

P.O BOX 308, DAWSON CITY, YUKON Y0B 1G0
PH: (867) 993-7400, FAX: (867) 993-7434

Lamerton Land Surveys
611 Alexander Street
Whitehorse, Yukon
Y1A 2M2

19th of May, 2017

RE: APPROVAL OF SUBDIVISION AND CONSOLIDATION OF ROAD AND LOTS 1,2,9,& 10, DAY'S ADDITION SUBDIVISION, PLAN 8338A

Please accept this letter as notification that the Mayor and Council of the City of Dawson have given permission to subdivide a section of the closed road and consolidation of this section with the surrounding lots as expressed in the Land Sale Agreement between the City of Dawson and Shirley Pennell dated December, 2014.

The land in the Agreement is described as, "10' by 100' section of alley right-of-way lying between the lots legally described as: lots 9 & 10, block 1, Day's Addition, Plan 8338A to the northeast and lots 1 and 2, block 1, Day's Addition, Plan 8338A to the southwest."

The land is to be consolidated shown in red below:



DAWSON CITY – HEART OF THE KLONDIKE



THE CITY OF DAWSON

P.O BOX 308, DAWSON CITY, YUKON Y0B 1G0
PH: (867) 993-7400, FAX: (867) 993-7434

If you have any questions or require any further clarification concerning the subdivision approval, please contact me at the City Office at 993-7414.

Sincerely,

Micah Olesh
molesh@cityofdawson.ca
Community Development Officer
City of Dawson



LAMERTON LAND SURVEYS

951 2nd Avenue, Box 928
Dawson City, Yukon, Y0B 1G0

Phone: (867) 334-7233

E-mail: glamerton@gmail.com

28 June 2017

Our File: 17 012

Elizabeth Grenon
City of Dawson

RE: Survey of Lot 13, Block 1, Day's Addition, Dawson City, Yukon

I have enclosed a sketch of my preliminary survey for the above noted project and bring to your attention the building encroachment of less than half a metre which is shown on the sketch.

It is not advisable to create a new lot with issues such as the above noted encroachment. It is good practise to remove an impediment to clear title from the start.

One way to remedy this situation is to extend the lot lines into Front Street by one metre. This action would entail purchasing a strip of land from YT Highways if they are amenable to the request.

I have informed Shirley Pennell of the situation and copied her with this correspondence.

I have also included a copy of CLSR Plan 54260, performed by James Gibbon, DLS in 1902 which shows the issue of encroachments being a persistent and ancient tradition within Block 1. You will note also that Bridge Street was renamed Front at some later date.

Please feel free to call me if further information or explanation is required.

Sincerely,

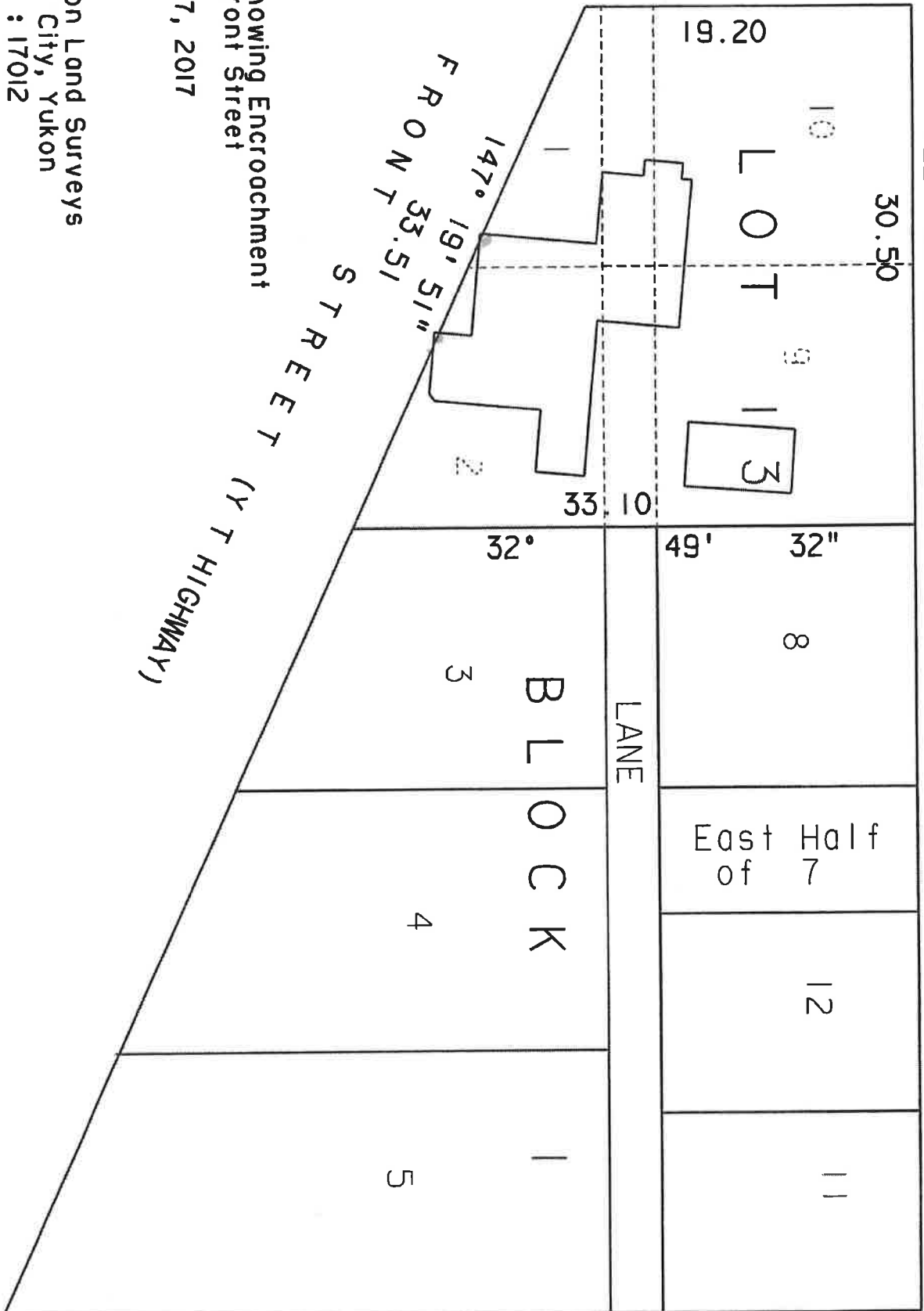
Glen Lamerton, Canada Lands Surveyor

S I X T H
A V E N U E

32° 49' 06"

122° 49' 32"

C R A I G S T R E E T



30.50

19.20

LOT

3

33.10

49' 32"

8

3

B L O C K

LANE

East Half
of 7

12

4

11

5

Plan Showing Encroachment
onto Front Street
June 27, 2017

Lamerton Land Surveys
Dawson City, Yukon
File No. : 17012

E I G H T H

A V E N U E



Box 253,
Dawson City,
Yukon Y0B !G0

November 1, 2017.

Dear Clarissa:

I have applied to Land Management Branch, Julia Nichols, Assistance Lands Officer concerning the two points on my house that encroach on YTG land. A letter from the municipal authority (Development Officer) indicating the proposed use is in compliance with existing planning and zoning schemes is required.


Because these two points are so small, my wishes are to have them become part of Lot 13 so that I can register my property and have a clear title.

If this proposal is in compliance with zoning and existing planning , could I ask that you contact Julia Nichols with your decision.

Julia Nichols,
Assistant Lands Officer, Land Management Branch
Energy, Mines and Resources
Yukon Government
867-667-5215 or 867-667-8132

Thank you Clarissa, for your time in this matter. I will be away from Nov.3rd to Dec. 1st.

Sincerely,


Shirley Pennell
993-5277



THE CITY OF DAWSON

P.O BOX 308, DAWSON CITY, YUKON Y0B 1G0
PH: (867) 993-7400, FAX: (867) 993-7434

Yukon Government
c/o Julia Nichols (Mail Code K320)
300 Main Street
Whitehorse, YT
Y1A 2B5

December 7, 2017

RE: LOT 13, BLOCK 1, DAY'S ADDITION LICENSE OF OCCUPATION

Dear Ms. Nichols,

As per our phone conversations and a written letter from Ms. Shirley Pennell dated November 1, 2017, I have completed a zoning analysis for Lot 13, Block 1, Day's Addition with respect to a license of occupation to address the fact that portions of Ms. Pennell's home encroach upon the Front Street Right-of-Way.

It appears as though a survey is registered as 'in progress' consolidating Lots 1, 2, 9 and 10 of Block 1, Day's Addition into Lot 13, Block 1, Day's Addition. This consolidation in combination with a license of occupation would address any outstanding zoning issues with regards to Ms. Pennell's home. As evident in the survey, Ms. Pennell's home is partially situated on all 4 lots; consolidating them into one lot is a reasonable and efficient way to resolve this.

However, it has come to light that a letter from my predecessor to the surveyor dated May 19, 2017 authorizing a survey for this consolidation was issued in error, as no such Council resolution for consolidation authority exists in our records.

Therefore, I cannot authorize the survey to be finalized until such time as I have received Council authority to do so. Once the consolidation has been formally approved by Council resolution, I would be comfortable with proceeding with finalizing the survey and allowing a license of occupation as the final step to resolving the zoning conflicts on Ms. Pennell's property.

I hope this clarifies my position, and please feel free to reach out should you have any further questions.

Sincerely,

Clarissa Huffman
Community Development Officer
Box 308, Dawson City YT Y0B1G0
cdo@cityofdawson.ca
867-993-7400 ext. 414

cc: Shirley Pennell

DAWSON CITY — HEART OF THE KLONDIKE



THE CITY OF DAWSON

Request for Decision

TO: Mayor and Council
FROM: Clarissa Huffman, CDO
DATE: 17 January 2018
SUBJECT: Official Community Plan Amendment #17-128 and Zoning By-Law Amendment #17-129
Lot 1205 Quad 116 B/03 (Bonanza Road)

RECOMMENDATION

It is respectfully recommended that:

1. Council forwards the Official Community Plan Amendment No. 7 to Council for first reading.
2. Council forwards the Zoning By-Law Amendment No. 18 to Council for first reading, subject to the following conditions:
 - 2.1. That Official Community Plan Amendment No. 7 passes third and final reading prior to first reading of Zoning By-Law Amendment No. 18.

PURPOSE

The applicant has submitted a Zoning By-Law Amendment application to re-zone their property from Service Commercial (C2) to Country Residential (R3) to facilitate the development of a single-detached residential dwelling. In order to process this request, an Official Community Plan Amendment was also required, as the Zoning By-Law cannot contravene the Official Community Plan.

BACKGROUND

The applicant filed an Official Community Plan Amendment and a Zoning By-Law Amendment application on December 12, 2017.

The applicant expressed an interest through this application in rezoning Lot 1205 Quad 116 B/03 from Service Commercial to Country Residential, in order to facilitate the development of a residential dwelling. The applicant noted in their request the current shortage of suitable residential lots in Dawson, therefore purchased this lot with the goal of rezoning and developing the lot.

According to the *Municipal Act S. 283(1)*, "Council shall not enact any provision or carry out any development contrary to or at variance with an official community plan." Therefore, it is inferred that should an individual wish to amend the Zoning By-Law, they must first petition to amend the Official Community Plan, as Council cannot enact zoning provisions that are contrary to the OCP.

Additionally, the *Municipal Act S. 283(2)* states that "No person shall carry out any development that is contrary to or at variance with an official community plan", and the *Municipal Act S. 297(2)* states that "No person shall carry out any development that is contrary to or at variance with a zoning bylaw."

Therefore, by filing these applications, the applicant is following due process in requesting these changes according to the legislation.

CURRENT STATUS

This application is currently in the first stage of processing. If approved, the next steps will unfold as follows:

1. First Reading of OCP Amendment No. 7
2. Statutory Public Hearing
3. Second Reading of OCP Amendment No. 7
4. Submission to Minister for Approval
5. Third Reading of OCP Amendment No. 7
6. First Reading of ZBL Amendment No. 18
7. Statutory Public Hearing
8. Second and Third Public Reading of ZBL Amendment No. 18

Therefore, the public will be given two opportunities to voice concerns about this application. The applications can be processed and discussed concurrently, but they must be passed separately for the reasons stated above.

CONSIDERATIONS / DISCUSSION

The subject property is situated in the Klondike Valley, at the corner of Bonanza Creek Road and Rabbit Creek Road, in an area where many different land uses coexist. The lot is bordered on two sides by lots that are also zoned C2, with additional C2 lots across Bonanza Creek Road. The other side of Rabbit Creek Road is currently zoned Industrial, however with the exception of Callison Industrial Subdivision to the east of the subject property, the majority of the land to the south and south-east of the subject property is unsurveyed and undeveloped.

The subject property is also in close proximity to the Parks and Natural Space Corridor along the west side of Bonanza Creek Road, and other Country Residential-zoned areas such as the Dredge Pond subdivision and a currently undeveloped CR zone to the south-west.

The potential for land use conflict for this particular lot is considered by staff to be minimal, given the proximity of the lot to a variety of different land uses. With proximity to Parks and Open Space and other Country Residential subdivisions (both existing and future), it is not unreasonable to consider a home in this location. Service commercial lots are associated with uses (such as campgrounds, eating and drinking establishments, and motels) that are reasonably compatible with, and complimentary to, the uses permitted in residential zones (i.e. residential dwellings).

The only potential conflict that may be considered a concern would be the Industrial zoned land to the east and south-east. At the current time, much of this land is un-surveyed and used for mining related purposes. Many of the surveyed lots are currently used for the same: namely equipment storage, workshops, and temporary worker housing or residential security units in association with a mine or other industrial business. Council may wish to consider whether this potential land use conflict outweighs the benefit of redeveloping an underutilized lot in accordance with Official Community Plan policies related to housing and housing need.

Municipal Act

The Municipal Act S. 285 states that *"an official community plan may be amended, but any such amendment shall be made in accordance with the procedure and subject to the same approvals as established in this Division for the preparation and adoption of an official community plan."* Therefore, Council has the authority to make a decision on this amendment provided that the process/timeline as outlined above, to ensure compliance with the legislation.

Official Community Plan

The subject property is currently designated in the Official Community Plan as Service Commercial (C2). The C2 land use designation as defined in the OCP constitutes *"commercial activities that provide service to local industry and/or highway tourism and service needs such as auto body shops, car washes, gas stations and motels"*.

The applicant wishes to amend the OCP in order to re-designate this land as Country Residential (CR), defined as *"low-density single-detached housing, which may be accompanied by secondary uses such as bed and breakfasts, home-based businesses and secondary suites subject to proper zoning. Lots in these areas are larger in size, and do not rely on being connected to the municipal water and sewer infrastructure"*.

The OCP contains language that supports this request. Section 3.3 of the OCP contemplates housing, and states that the long-term goal with respect to housing is to *"support the development of new housing and the adaptive reuse of existing buildings to meet the full continuum of housing needs in the community"*. Implementation approaches listed in support of this goal include encouraging development of a range of

housing types that meet community needs, and to encourage owners of vacant or underutilized land to develop or sell their land in order to encourage infill.

This application meets the criteria of both of these implementation approaches. Approving this amendment would allow for the development of a new dwelling that meets a community need: in this case the community need is clear, because the applicant has submitted an application stating that no other lot meet their needs for a residential dwelling. Additionally, the applicant purchased this land vacant, with the intent of developing it. This fits within the preferred implementation approach listed above.

Zoning By-Law

The subject property is currently zoned C2: Service Commercial. The applicant has indicated on their application that they wish to rezone the property to R3: Country Residential. As mentioned above, this request cannot be accommodated until such time as the OCP has been amended to allow a Country Residential Designation in this location.

The applicant wishes to build a single-family dwelling, which is a permitted use within the Country Residential zone. The upon third and final reading of the Zoning By-Law Amendment, should it be passed by Council, the applicant would be required to submit a development permit application and obtain the appropriate approvals prior to commencing construction on a dwelling.

Heritage Management Plan

The property is outside of the area currently under the jurisdiction of the Heritage Management Plan. Therefore, the Heritage Advisory Committee is not required to review this proposal. However, the applicant and any future owners are urged to consider the unique heritage of Dawson City when considering new development of this lot.

Public Consultation

This application will enter into a consultation period after first reading of the OCP Amendment, should this application be forwarded to Council for first reading. At that time, this application may be required to enter into further Committee of the Whole discussions should significant public concern arise in response to this application.

IMPLICATIONS

General: This application has potential positive benefit to the City of Dawson, namely the community benefit arising from the redevelopment of a currently vacant lot, and

facilitating the development of a single-detached dwelling which will help alleviate the current housing shortage.

Financial: This application has no negative financial impact to the City of Dawson. The applicant bears all costs related to this application. There is the potential for increased revenue for the City of Dawson through higher property tax once improvements are made on the lot.

Communication: The applicant will be informed of the decision of Council. The CDO will navigate this application through the legislative process, providing regular updates and feedback to the applicant. The public will be provided the opportunity to voice comments and concerns during two separate statutory public hearings.

OPTIONS

Council may consider one of the following options regarding this application:

1. Approve this request and forward Official Community Plan Amendment No. 7 for first reading, as recommended.
2. Refuse this request and do not forward Official Community Plan Amendment No. 7 or Zoning By-Law Amendment No. 18 to Council for first reading.
3. Defer this application for discussion at a later date, and provide details on where further information is required for a decision.

APPENDICES / SCHEDULES

Appendix A. Applicant Cover Letter

Appendix B. OCP Amendment Application #17-128

Appendix C. ZBL Amendment Application #17-129

Appendix D. Certificate of Title

Appendix E. Location Map #1

Appendix F. Location Map #2

APPROVAL & CAO COMMENTS

Respectfully Submitted,

Clarissa Huffman, CDO

Date

I have reviewed and have no further comments regarding this report.

Christine Smith, A/CAO

Date

December 12th, 2017

City of Dawson
Community Development Officer
Clarissa Huffman
Box 308
Dawson City, YT Y0B 1G0

Dear Clarissa;

RE: OCP Amendment Application & Zoning Bylaw Amendment Application

Please find attached our Applications for both OCP Amendment and Zoning Amendment. We have purchased a lot at the old Guggieville location at the juncture of the Klondike Highway and Bonanza Creek Road. These lots are zoned as Service Commercial, and we would like to request to have the zoning for our lot (#1205) to be rezoned to Country Residential.

We have been searching for a Country Residential lot because we would prefer to have a larger lot, and although we have been looking for quite some time, they are quite hard to come by. Since we were having this difficulty, we finally decided to purchase our lot and request to have it rezoned. We are hoping the City will understand the shortage of Country Residential lots and assist us in this matter.

Our plan for the lot is to build a single family home (and possibly a garage/shed to put vehicles in during the winter). The lot we have purchased is very appealing to us as it is very flat and will not require extensive land development (as some of the other recently available lots do).

We look forward to hearing from you regarding the next steps. If you require any further information, please do not hesitate to contact us.

Respectfully,

Garth & Juli Hnetka
993.6673 (h) 993.3849 (Garth cell) 993.3742 (Juli cell)



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca

PAID
DEC 13 2017
27023

OFFICE USE ONLY	
APPLICATION FEE:	1030
DATE PAID:	
ADVERTISING FEE:	
DATE PAID:	
APPLICATION #:	7-128

OCP AMENDMENT APPLICATION

PLEASE READ THE ATTACHED INSTRUCTIONS, GUIDELINES AND APPLICATION REQRMENTS PRIOR TO COMPLETING FORM.

AUTHORIZED AGENT INFORMATION

APPLICANT / AUTHORIZED AGENT NAME(S): Garth + Juli Hnetka

COMPANY NAME: _____

MAILING ADDRESS: Box 103 Dawson City, YT POSTAL CODE: Y0B 1G0

EMAIL: the_hnetkas@hotmail.com FAX #: _____

PHONE #: 993 6673 (h) ALTERNATE PHONE #: 993-3742 (Juli's cell)
993-3849 (Garth's cell)

OWNER INFORMATION

OWNER NAME(S): Garth + Juli Hnetka

MAILING ADDRESS: Box 103 Dawson City, YT POSTAL CODE: Y0B 1G0

EMAIL: the_hnetkas@hotmail.com FAX #: _____

PHONE #: 993-6673 (h) ALTERNATE PHONE #: 993-3742 (Juli's cell)
993-3849 (Garth's cell)

DOCUMENTATION OF OWNERSHIP ATTACHED TO APPLICATION

PROPOSED AMENDMENT

A.) RE-DESIGNATION: (Attach map showing the scale, dimensions and proposed change in the context of adjacent land)

CIVIC ADDRESS: _____ PARCEL SIZE OR LAND AREA: 0.401 ha

LEGAL DESCRIPTION: LOT(S) 1205 ^{Quad} BLOCK 116B/03 ESTATE _____ PLAN# 2014-0012

PROPOSED AMENDMENT:

FROM ZONING DESIGNATION: Service Commercial TO ZONING DESIGNATION: R3 - Country Residential

REASON FOR PROPOSED AMENDMENT: Please provide justification of the proposed amendment.

see attached.

B.) TEXT AMENDMENT: (Attach additional sheets if required)

DESCRIPTION OF PROPOSED AMENDMENT: Please provide a description of the proposed amendment.

REASON FOR PROPOSED AMENDMENT: Please provide justification of the proposed amendment.



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca



APPLICATION #:	
----------------	--

APPLICATION REQUIREMENT CHECK LIST

	Completed Development Application Form, in full, including written statement to describe and justify the proposed amendment.
	Application fee as per the City of Dawson Fees and Charges Bylaw
	Advertising fee as per the City of Dawson Fees and Charges Bylaw - required advertising associated with the application
	Documentation of Ownership
	Map showing scale, dimensions and the proposed change in the context of adjacent land
	Any additional information requested by the Development Officer.
◆	
◆	
◆	
◆	

DECLARATION

- I/WE hereby make application for a zoning amendment under the provisions of the City of Dawson Zoning Bylaw No. 12-27 and in accordance with the supporting information submitted and attached which form part of this application.
- I/ WE have reviewed all of the information supplied to the City of Dawson with respect to an application for a zoning amendment and it is true and accurate to the best of my/our knowledge and belief.
- I/WE understand that the City of Dawson will rely on this information in its evaluation of my/our application for a zoning amendment and that any decision made by the City of Dawson on inaccurate information may be rescinded at any time.
- I/WE hereby give my/our consent to allow Council or a person appointed by its right to enter the above land and/or building(s) with respect to this application only.**

I/WE HAVE CAREFULLY READ THIS DECLARATION BEFORE SIGNING IT.

DATE SIGNED _____
Dec 13/17
 DATE SIGNED _____

SIGNATURE OF APPLICANT(S) _____
[Signature]
 SIGNATURE OF OWNER(S) _____
[Signature]

TO BE COMPLETED BY DEVELOPMENT OFFICER:

FOR OFFICE USE ONLY

DATE APPLICATION RECEIVED _____

SIGNATURE OF DEVELOPMENT OFFICER _____

OCP Amendment Application

Reason for Proposed Amendment: Please provide justification of the proposed amendment

We are requesting an amendment to the zoning of our lot (Lot 1205 Quad 116B/06). We would like to request that the zoning be changed from Service Commercial to Country Residential.

The reason we are making this request is because we have been looking for a larger (than City) sized lot for building a new house (single family) on for awhile now, and have not been able to find any lots either within City limits or in the Dawson area.

We recognize that we would be building a home in a Commercial area; this is not a concern for us. We find that the location is ideal in many ways as it is close to, but not right in town, it is a larger lot and it is in a good location.



THE CITY OF DAWSON

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www.cityofdawson.ca

PAID
DEC 13 2017
27623

OFFICE USE ONLY	
APPLICATION FEE:	410
DATE PAID:	
ADVERTISING FEE:	
DATE PAID:	
APPLICATION #:	17-129

ZONING AMENDMENT APPLICATION

PLEASE READ THE ATTACHED INSTRUCTIONS, GUIDELINES AND APPLICATION REQUIRMENTS PRIOR TO COMPLETING FORM.

AUTHORIZED AGENT INFORMATION

APPLICANT / AUTHORIZED AGENT NAME(S): Garth + Juli Hnetka

COMPANY NAME: _____

MAILING ADDRESS: Box 103 Dawson City, YT POSTAL CODE: Y0B 1G0

EMAIL: the_hnetkas@hotmail.com FAX #: _____

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PHONE #: 993-6673 (h) ALTERNATE PHONE #: 993-3742 (Juli's cell)
993-3849 (Garth's cell)

DOCUMENTATION OF OWNERSHIP ATTACHED TO APPLICATION

PROPOSED AMENDMENT

A.) REZONING: (Attach map showing the scale, dimensions and proposed change in the context of adjacent land)

CIVIC ADDRESS: _____ PARCEL SIZE OR LAND AREA: 0.401 ha

LEGAL DESCRIPTION: LOT(S) 1205 Quad BLOCK 1168/03 ESTATE _____ PLAN# 2014-0012

PROPOSED AMENDMENT:

FROM ZONING DESIGNATION: Service Commercial TO ZONING DESIGNATION: R3 - Country Residential

REASON FOR PROPOSED AMENDMENT: Please provide justification of the proposed amendment.

B.) TEXT AMENDMENT: (Attach additional sheets if required)

DESCRIPTION OF PROPOSED AMENDMENT: Please provide a description of the proposed amendment.

REASON FOR PROPOSED AMENDMENT: Please provide justification of the proposed amendment.



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APPLICATION #:	
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- I/WE hereby give my/our consent to allow Council or a person appointed by its right to enter the above land and/or building(s) with respect to this application only.

I/WE HAVE CAREFULLY READ THIS DECLARATION BEFORE SIGNING IT.

DATE SIGNED _____

SIGNATURE OF APPLICANT(S) _____

Dec 13/17
DATE SIGNED

 
SIGNATURE OF OWNER(S)

TO BE COMPLETED BY DEVELOPMENT OFFICER:

FOR OFFICE USE ONLY

DATE APPLICATION RECEIVED _____

SIGNATURE OF DEVELOPMENT OFFICER _____



CANADA
YUKON TERRITORY
TERRITOIRE DU YUKON

CERTIFICATE OF TITLE CERTIFICAT DE TITRE

YUKON LAND REGISTRATION DISTRICT
LAND TITLES OFFICE
DISTRICT D'ENREGISTREMENT DES TERRES DU YUKON
BUREAU DES TITRES DE BIENS-FONDS

Title: 2017Y1168

Declared Value: \$68,250.00

OIC: 1991/2507

Patent: 5028

Patent: 7718

Patent: 7959

Notification: 184126

Transfer: 230798

This is to certify that
La présente certifie que

Joint Tenants

GARTH HNETKA

JULIE HNETKA

Post Office Address:
Adresse postale

GARTH HNETKA

JULIE HNETKA

BOX 103 DAWSON CITY YUKON TERRITORY Y0B 1G0

BOX 103 DAWSON CITY YUKON TERRITORY Y0B 1G0

NOW OWNS AN ESTATE IN FEE SIMPLE OF AND IN:
SONT MAINTENANT PROPRIÉTAIRES D'UN DOMAINE EN FIEF SIMPLE SUR :

Lot	Portion	Block/Bloc	Quad	Group	Plan No/# de Plan
1205			116 B/03		2014-0012
				Dawson City	Yukon Territory

Particulars/Particuliers:

NO DUPLICATE CERTIFICATE OF TITLE HAS BEEN ISSUED;

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the Register.
sous réserve des charges, privilèges et droits énoncés dans la note ou le memorandum inscrit à la suite du présent certificat, ou qui peut être à l'avenir inscrit dans le registre.

I hereby certify that this is a true copy
of the original Certificate of Title.

14 Nov 2017 at 11:29 Hours

[Signature]

(s) REGISTRAR

In witness whereof, I have hereunto subscribed my name and affixed my official seal,
En foi de quoi, j'ai apposé aux présentes ma signature et mon sceau officiel.

Date: 14 Nov 2017 11:29:00

[Signature] Registrar Signature

Signature du Registrateur

[Signature]

Section 59, Land Titles Act, 2015

The entitlement to an interest or estate in land described in a certificate of title, other than a Certificate of Category A Settlement Land Title or Certificate of Category B Settlement Land Title under section 67, is, by implication and without any special mention in the certificate, unless the contrary is expressly declared, subject to

- a) any subsisting reservations or exceptions contained in the original grant or transfer of the land from Her Majesty the Queen in Right of Canada or from the Commissioner;
- b) all unpaid taxes;
- c) any subsisting lien under section 68 of the Assessment and Taxation Act for taxes due and payable in respect of the land;
- d) any public highway or right-of-way or other public easement, however created, on, over or in respect of the land;
- e) any subsisting lease or agreement for a lease for a period not exceeding three years if there is actual occupation of the land under the lease or agreement;
- f) any instrument recorded in the general register in respect of the owner which may affect the interest of the owner in the land;
- g) any right of expropriation that is authorized by statute; and
- h) any easement under the Condominium Act, 2015.

Article 59 de la Loi de 2015 sur les titres de bien-fonds:

Le droit à un intérêt ou un domaine foncier décrit dans un certificat de titre, à l'exception d'un certificat de titre à l'égard d'une terre visée par le règlement de catégorie A ou d'un certificat de titre à l'égard d'une terre visée par le règlement de catégorie B en vertu de l'article 67, est, implicitement et sans mention spéciale dans le certificat, à moins d'indication expresse contraire, assujéti :

- (a) à toutes réserves ou exceptions existantes de la concession ou du transfert primitif du bien-fonds par Sa Majesté la Reine du chef du Canada ou par le commissaire;
- (b) toutes taxes non payées ;
- (c) à tout privilège valide en vertu de l'article 68 de la Loi sur l'évaluation et la taxation pour les taxes payables à l'égard du bien-fonds;
- (d) aux routes publiques, emprises ou autres servitudes publiques existant sur le bien-fonds ou le concernent, quelle qu'en soit l'origine;
- (e) à tout bail ou toute convention à fin de bail en existence pour une période maximale de trois ans, s'il y a occupation réelle du bien-fonds en vertu du bail ou de la convention;
- (f) aux instruments inscrits dans le registre général à l'égard du propriétaire qui peuvent avoir une incidence sur l'intérêt du propriétaire sur le bien-fonds;
- (g) à tout droit d'expropriation autorisé par une loi,
- (h) à toute servitude en vertu de la Loi de 2015 sur les condominiums



CANADA
YUKON TERRITORY
TERRITOIRE DU YUKON

CERTIFICATE OF TITLE CERTIFICAT DE TITRE

YUKON LAND REGISTRATION DISTRICT
LAND TITLES OFFICE
DISTRICT D'ENREGISTREMENT DES TERRES DU YUKON
BUREAU DES TITRES DE BIENS-FONDS

Title: 2017Y1168

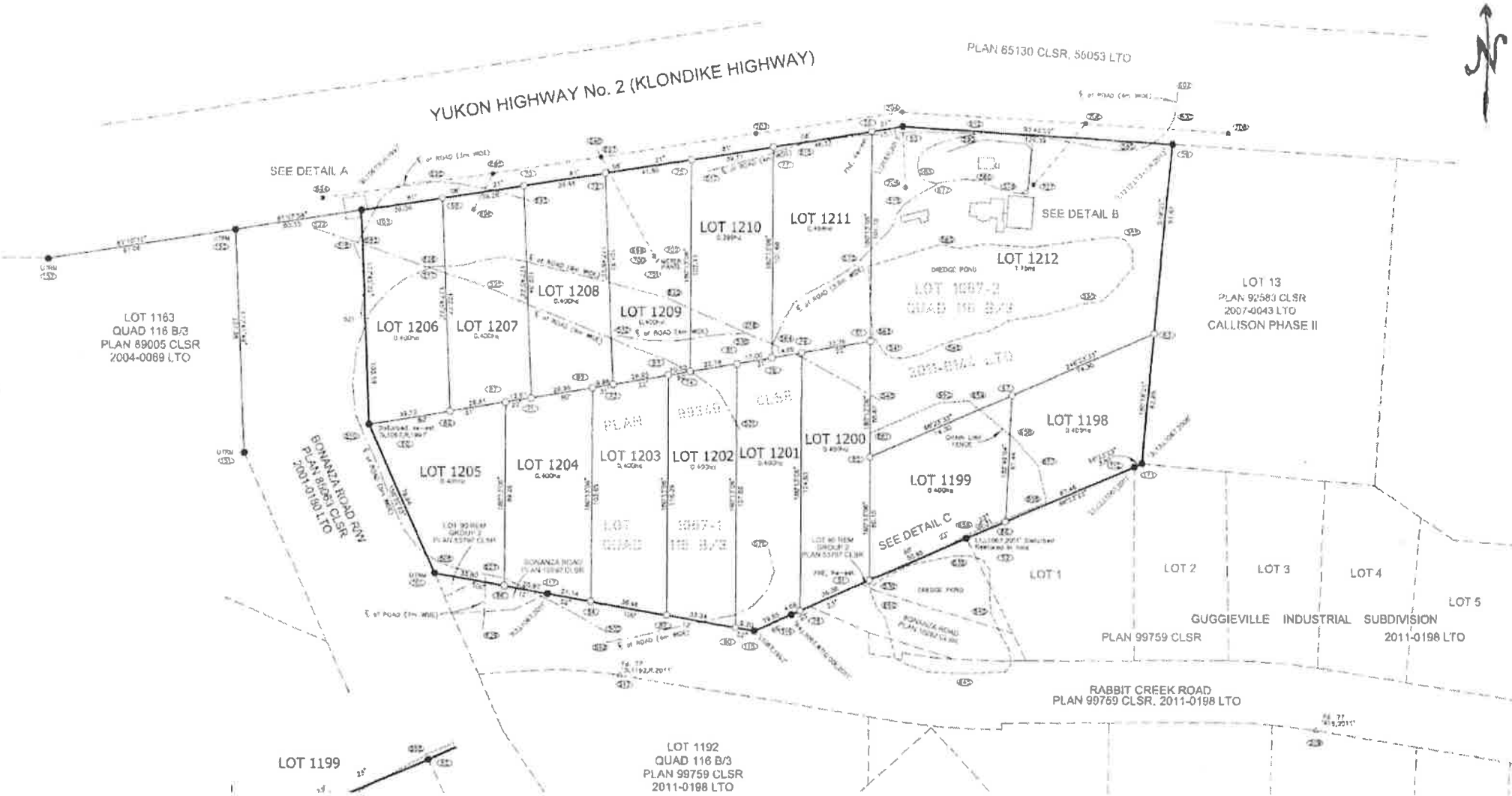
Declared Value: \$68,250.00

Charges, Liens and Interests/Charges, Privileges et Droits:

Lot: 1205 Plan: 2014-0012

Reg #	Reg. Date	Instr Date	Instr. Type	Amount	By/Par	Particulars/Particuliers	Signature
212901	04 Sep 2013	23 Aug 2013	Easement		GUGGIEVILLE LAND COMPANY LTD	EASEMENT OVER LOT 1087-1, PLAN 2011-0144 FOR THE BENEFIT OF LOT 1087-2 PLAN 2011-0144;	<input type="checkbox"/> LL
212902	04 Sep 2013	23 Aug 2013	Easement		GAIL HENDLEY, JOHN HENDLEY	EASEMENT OVER LOT 1087-2, PLAN 2011-0144 FOR THE BENEFIT OF LOT 1087-1 PLAN 2011-0144;	<input type="checkbox"/> LL

Remainder of page is intentionally left blank.



PLAN 65130 CLSR, 56053 LTO

YUKON HIGHWAY No. 2 (KLONDIKE HIGHWAY)

SEE DETAIL A

SEE DETAIL B

SEE DETAIL C

LOT 1163
QUAD 116 B/3
PLAN 89005 CLSR
2004-0089 LTO

LOT 1199

LOT 1192
QUAD 116 B/3
PLAN 99759 CLSR
2011-0198 LTO

LOT 13
PLAN 92583 CLSR
2007-0043 LTO
CALLISON PHASE II

RABBIT CREEK ROAD
PLAN 99759 CLSR, 2011-0198 LTO

GUGGIEVILLE INDUSTRIAL SUBDIVISION
PLAN 99759 CLSR, 2011-0198 LTO

BONANZA ROAD R/W
PLAN 89001 CLSR
2007-0180 LTO

LOT 1205

LOT 1204

LOT 1203

LOT 1202

LOT 1201

LOT 1200

LOT 1199

LOT 1198

LOT 1210

LOT 1211

LOT 1212

LOT 1209-2
QUAD 116 B/3

LOT 2

LOT 3

LOT 4

LOT 5

↑
North

